

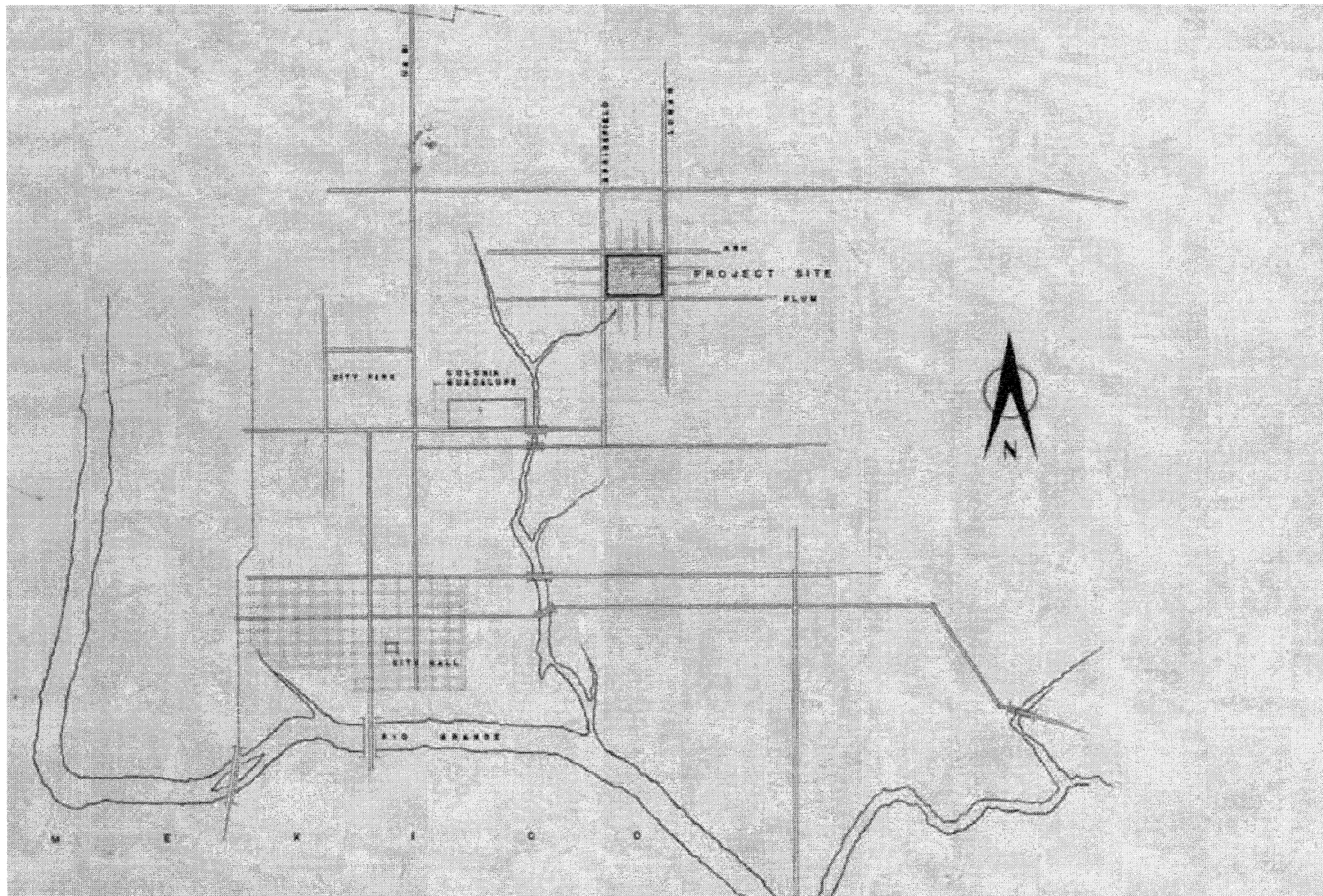
LAREDO HOUSING FACILITIES CORPORATION
LAREDO, TEXAS

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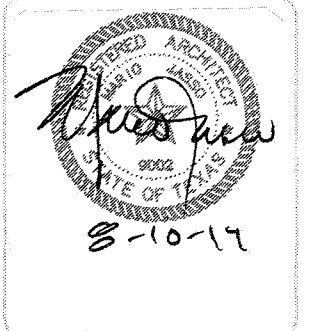
RUSSELL TERRACE REVITALIZATION SELECTIVE DEMOLITION – PHASE I



<u>SCHEDULE OF DRAWINGS</u>	<u>SHT. NO.</u>
TITLE AND COVER SHEET	D0-0
SITE PLAN	D1-1
DEMOLITION NOTES	D1-2
BUILDING TYPE "A" – ONE BDRM UNITS	D2-1
BUILDING TYPE "B" – TWO BDRM UNITS	D2-2
BUILDING TYPE "C" – THREE BDRM UNITS	D2-3
BUILDING TYPE "D" – FOUR BDRM UNITS	D2-4
TYPICAL BUILDING CROSS SECTION	D3-1



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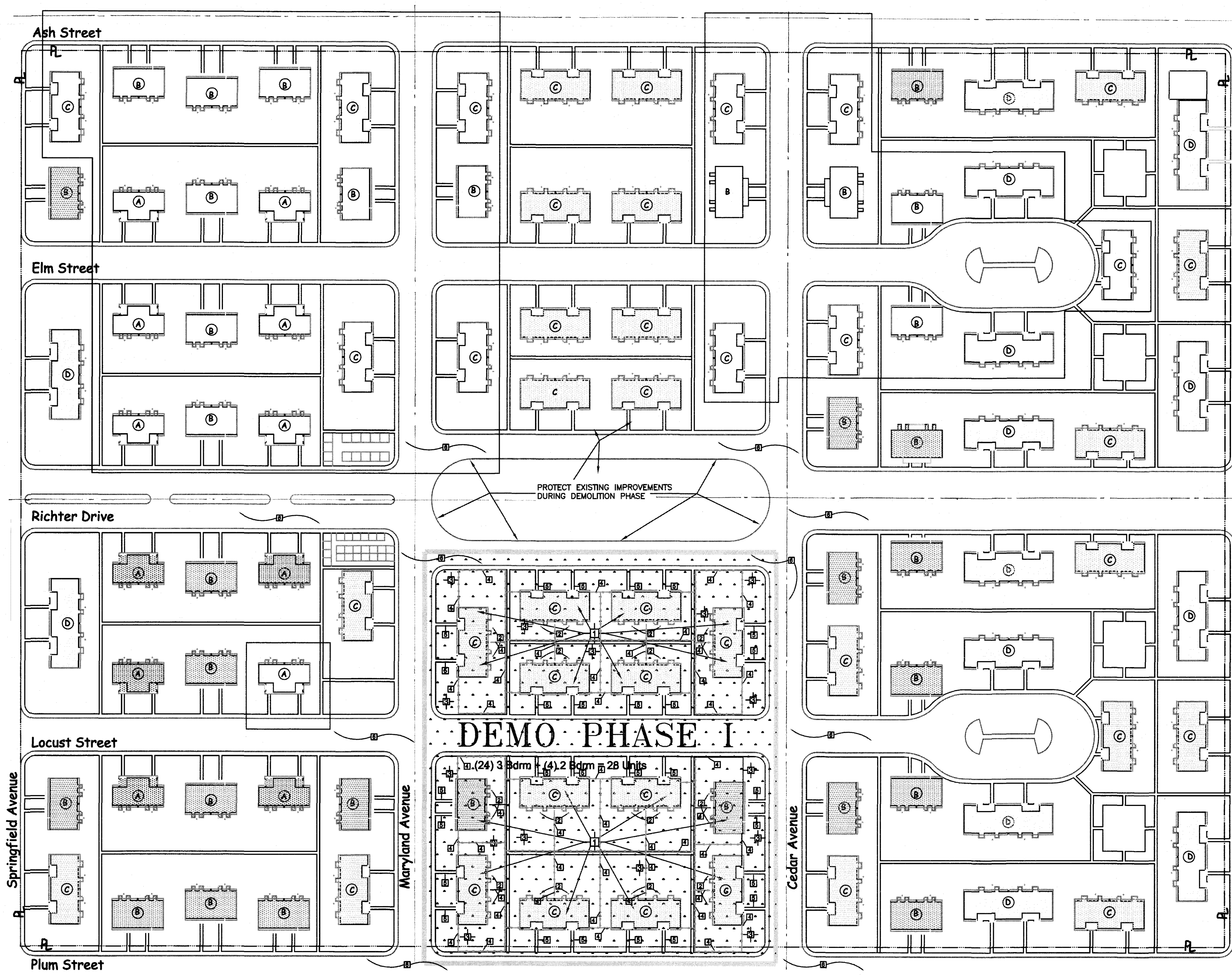


RUSSELL TERRACE REVITALIZATION
LAREDO HOUSING FACILITIES CORPORATION
SELECTIVE DEMOLITION – PHASE I
500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
TITLE AND COVER SHEET

Drawn by: M.J.
Checked: M.J.
Approved: M.J.
Job N°: 170401
Date: 05/25/17

Drawing N°
D0-0
Sht. 1 of 8



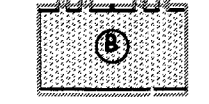
DEMOLITION

LEGEND

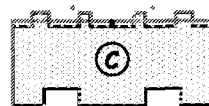
Denotes Existing Residential Unit to be Demolished w/ Exist. Conc. Foundation to Remain. Cap all Plumbing Lines (see Floor Plans)



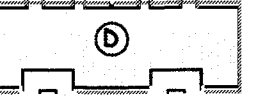
Bldg. Type "A"
1 Bedroom Unit



Bldg. Type "B"
2 Bedroom Unit



Bldg. Type "C"
3 Bedroom Unit



Bldg. Type "D"
4 Bedroom Unit

HATCHED AREA INDICATES LIMITS DEMOLITION WORK PHASE I

EXIST. LANDSCAPING TO REMAIN, PROTECT DURING DEMOLITION PHASE

DEMOLITION - SCOPE OF WORK

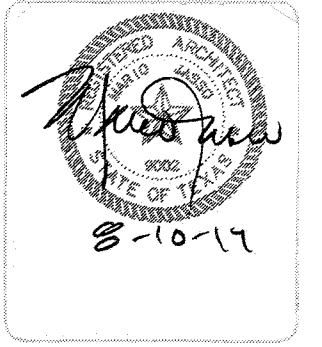
- SEE SHEET A1-2 FOR ADDITIONAL DEMOLITION NOTES.
- CONTRACTOR SHALL NOT REMOVE ANY EXISTING STRUCTURE UNLESS SPECIFICALLY NOTED TO DO SO. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED TO THE FOUNDATION. ALL EXISTING FOUNDATIONS SHALL REMAIN IN PLACE UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- THE DEMOLITION CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING STRUCTURES AND ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO: ELECTRICAL, PLUMBING, GAS, AND HEATING SYSTEMS. ALL UTILITIES SHALL BE CAPPED OR REMOVED AS SPECIFIED. THE CONTRACTOR SHALL PROVIDE A WRITTEN LIST OF UTILITIES TO BE REMOVED OR CAPPED TO THE OWNER PRIOR TO THE START OF DEMOLITION WORK. ALL UTILITIES SHALL BE CAPPED OR REMOVED AS SPECIFIED.
- CONTRACTOR SHALL REMOVE EXISTING MATERIALS AND ALL EXISTING UTILITIES FROM THE PROJECT SITE ON A DAILY BASIS. ALL EXISTING MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS SPECIFIED. ALL EXISTING UTILITIES SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS SPECIFIED.
- PROTECT EXISTING LANDSCAPING TO REMAIN. PROTECT EXISTING LANDSCAPING TO REMAIN. PROTECT EXISTING LANDSCAPING TO REMAIN. PROTECT EXISTING LANDSCAPING TO REMAIN. PROTECT EXISTING LANDSCAPING TO REMAIN.
- AFTER COMPLETION OF DEMOLITION OPERATIONS, CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION. CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION. CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION. CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION.

DEMOLITION KEY NOTES

- DEMOLITION AND REMOVE EXISTING STRUCTURE, EXISTING FOUNDATION TO REMAIN. PROTECT FOUNDATION FROM DEMOLITION PHASE DUE TO DEMOLITION OPERATIONS.
- OUT AND CAP EXISTING PLUMBING, GAS AND SEWER LINES TO 15' DEEP. CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SEWER LINES FROM DEMOLITION OPERATIONS.
- ALL EXISTING LANDSCAPING, VEGETATION AND TREES ARE TO REMAIN. PROTECT DURING DEMOLITION OPERATIONS.
- CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION. CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION. CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO ORIGINAL CONDITION.
- SEE SHEET A1-2 FOR ADDITIONAL DEMOLITION NOTES.



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RUSSELL TERRACE REVITALIZATION
LAREDO HOUSING FACILITIES CORPORATION
SELECTIVE DEMOLITION - PHASE I
500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
DEMOLITION SITE PLAN

Drawn by: M.J.
Checked: M.J.
Approved: M.J.
Job N°: 170401
Date: 05/25/17

Drawing N°
D1-1
Sht. 2 of 8

Site Plan
Scale: NTS

DEMOLITION WORK GENERAL NOTES

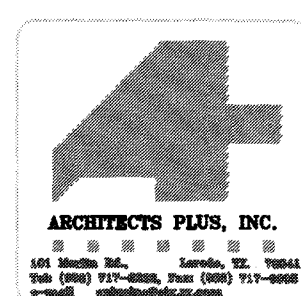
1. The Demolition Contractor (Firm) shall verify all existing conditions and familiarize himself with all the requirements of the specifications, drawings and the Request for Proposals for the Demolition work, prior to submitting a bid. The Demolition Contractor (Firm) shall be solely responsible for the ways, means and methods of the demolition operations.
2. Extent of Selective Demolition is indicated on the drawings and includes removal of all existing building improvements, roofs, and walls down to the building foundation, slabs-on-grade to remain, cap all plumbing lines, water and sewer at 12" above floor finish. Strip all flooring from foundation slab and protect foundation from damage that may be caused by building demolition operations. Refer to scope or work for items to be salvaged.
3. Refer to Request for Proposals for a list of salvage items which shall be carefully removed, cleaned, protected and turned over to the Laredo Housing Finance Corporation, undamaged, prior to beginning demolition. Salvaged items shall be delivered to the LHFC Operations Department.
4. The Demolition Contractor (Firm) shall submit a schedule indicating proposed sequence of operations for selective demolition work to the LHFC's Project Architect for review prior to commencement of work. Include coordination for shut-off, capping, and continuation of utility services as required, together with details for dust and noise control. Comply with governing regulations pertaining to environmental protection.
5. LHFC personnel and Russell Terrace Residents will continue to occupy areas of the project site immediately adjacent to areas of selective demolition. The demolition contractor (Firm) shall conduct selected demolition work in a manner that will minimize need for disruption of the LHFC's and Resident's normal operations. Provide minimum of 72 hours advance notice to the LHFC of demolition activities which will impact LHFC's and Resident's normal operations.
6. The LHFC assumes no responsibility for the actual condition of items or structures to be demolished.
7. Conditions existing at time of commencement of contract will be maintained by the LHFC insofar as practicable. However, variations within the project site or structure may occur by LHFC's own removal and salvage operations prior to start of selective demolition work.
8. Items indicated to be removed but of salvable value to the Demolition Contractor (Firm) may be removed from structure as work progresses. Transport contractor salvaged items for sale, off-site as they are removed. Storage or sale of removed items on site will not be permitted.

9. Provide temporary barricades, barriers and other forms of protection as required to protect LHFC's personnel, RT Residents and the general public from injury due to selective demolition work.
10. Provide protective measures as required to provide free and safe passage of LHFC's personnel, RT Residents and the general public to and from occupied portions of the project site. Erect temporary covered passageways as required by authorities having jurisdiction.
11. Conduct selective demolition operations and debris removal in a manner to ensure minimum interference with roads, streets, walks, parking and other adjacent occupied or used facilities.
12. The underground utility information is unavailable for the project area, coordinate with LHFC's Operations Department for location, size and direction of flow of any existing utilities encountered at the site. It shall be the responsibility of the Demolition Contractor (Firm), to coordinate the utility work with LHFC personnel and the local utility companies, to ascertain the accuracy of the underground utility information that may be available, to document the actual locations encountered during the demolition operations on a record set of documents, to repair any damages to the underground utilities occasioned by the demolition work of this contract and to cap the lines as required by the utility companies and local building codes.
13. Do not interrupt existing utilities serving occupied or used facilities, except as authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.
14. Locate, identify, stub off and disconnect utility services that are not indicated to remain and pay disconnect fees if applicable.
15. Provide by-pass connections as necessary to maintain continuity of service to occupied areas of the project site or building. Provide minimum of 72 hours advance notice to the LHFC if shut-down of service is necessary during change-over.
16. Use water sprinkling, temporary enclosures, and other suitable methods to limit dust and dirt rising and scattering in air to lowest practical level. Do not use water when it may create hazardous or objectionable conditions such as ice, flooding and pollution.
17. Prior to commencement of selective demolition work, inspect areas in which work will be performed. Photograph existing conditions to structure surfaces, equipment or to surrounding properties which could be misconstrued as damage resulting from selective demolition work; file with LHFC's Project Architect prior to starting work.

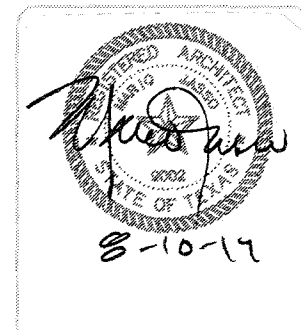
18. Provide interior and exterior shoring, bracing or support to prevent movement, settlement or collapse of structures to be demolished and adjacent facilities to remain.
19. Perform selective demolition work in a systematic manner.
20. Upon completion of demolition operations scarify affected site areas to a depth of 12" below grade and completely fill below-grade areas and voids resulting from demolition work. Provide fill consisting of approved select fill, free of trash and debris, stones over 6" diameter, roots or other organic matter, place in 6" lifts compacted to 95% of the maximum dry density as determined by ASTM D-698 (Standard Proctor) at or slightly above the optimum moisture content to a finished elevation to match pre-demolition site grading.
21. If unanticipated mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to LHA's Project Architect in writing, with accurate detail. Pending receipt of directive LHFC's Project Architect and LHA rearrange selective demolition schedule as necessary to continue overall job progress without delay.
22. Where indicated on Drawings "to be Salvaged", carefully remove indicated items, clean, store and turn over to the LHA and obtain receipt. Deliver all salvaged items to LHFC Operations Department.
23. Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off site.
24. If unanticipated hazardous materials are encountered during demolition operations, stop demolition work, notify LHFC and comply with applicable regulations, laws, and ordinances concerning removal, handling and protection against exposure or environmental pollution.
25. Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition existing prior to continuation of selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.

IMPORTANT NOTE:

Refer to Sheet Notes, for additional demolition work requirements. Copies of Original Plans by Olin Boese and Associates, Architects - 1957 are included for General Information only and do not represent actual present condition of the units. Bidders are required to field verify actual site and building conditions of units to be demolished prior to submitting a bid.



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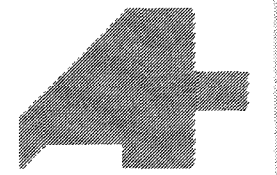


RUSSELL TERRACE REVITALIZATION
 LAREDO HOUSING FACILITIES CORPORATION
 SELECTIVE DEMOLITION - PHASE I
 500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
 DEMOLITION NOTES

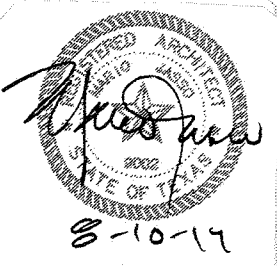
Drawn by: M.J.
 Checked: M.J.
 Approved: M.J.
 Job N°: 170491
 Date: 05/25/17

Drawing N°
D1-2
 Sht 3 of 8



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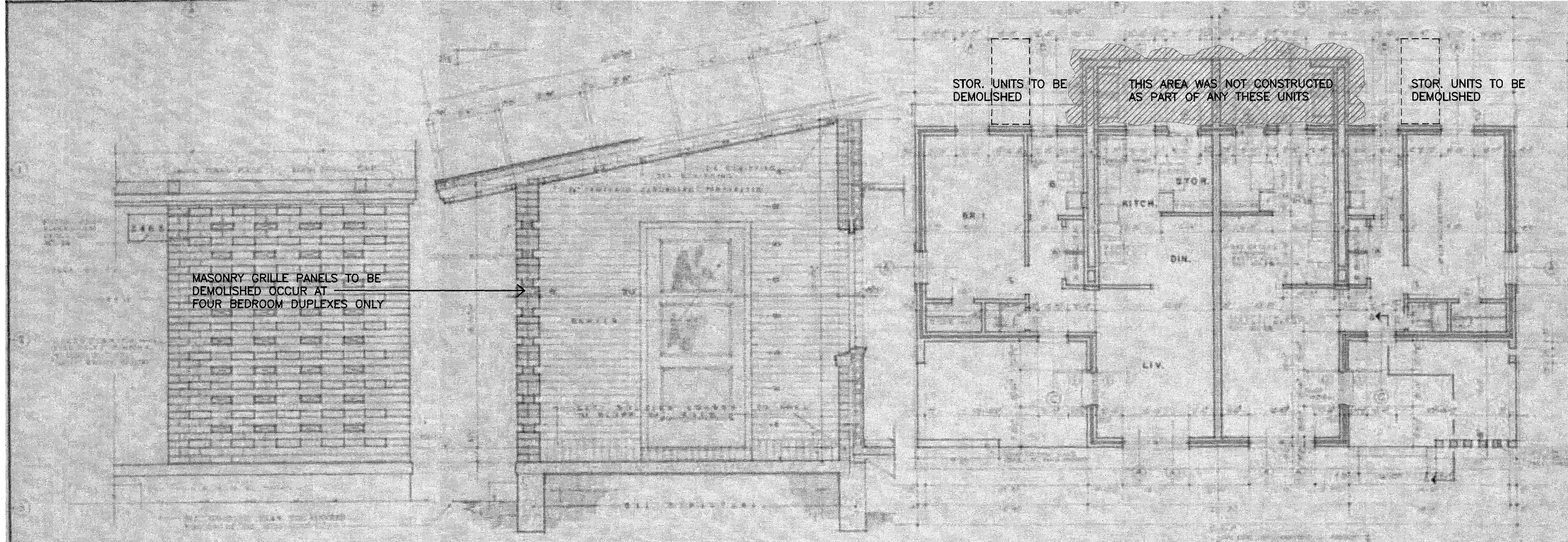
RUSSELL TERRACE REVITALIZATION
 LAREDO HOUSING FACILITIES CORPORATION
 SELECTIVE DEMOLITION - PHASE I
 500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
**TYPE "A"
 1 BDRM
 UNITS**

Drawn by: M.J.
 Checked: M.J.
 Approved: M.J.
 Job N°: 170401
 Date: 05/25/17

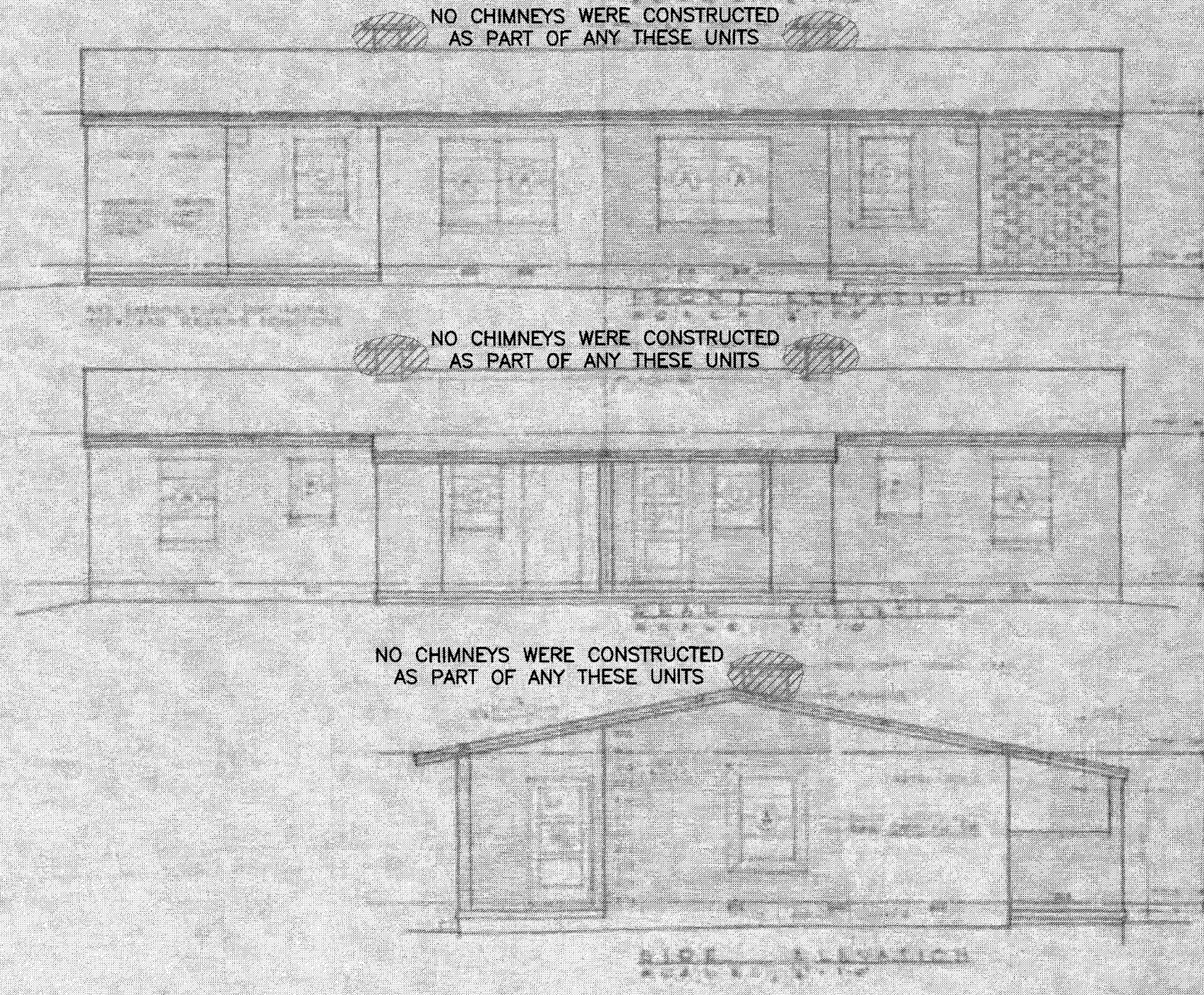
Drawing N°
D2-1
 Sht. 4 of 8

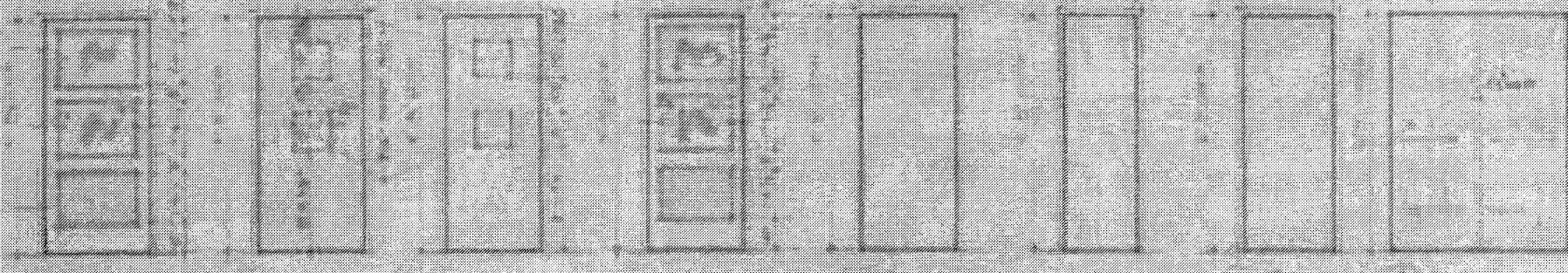
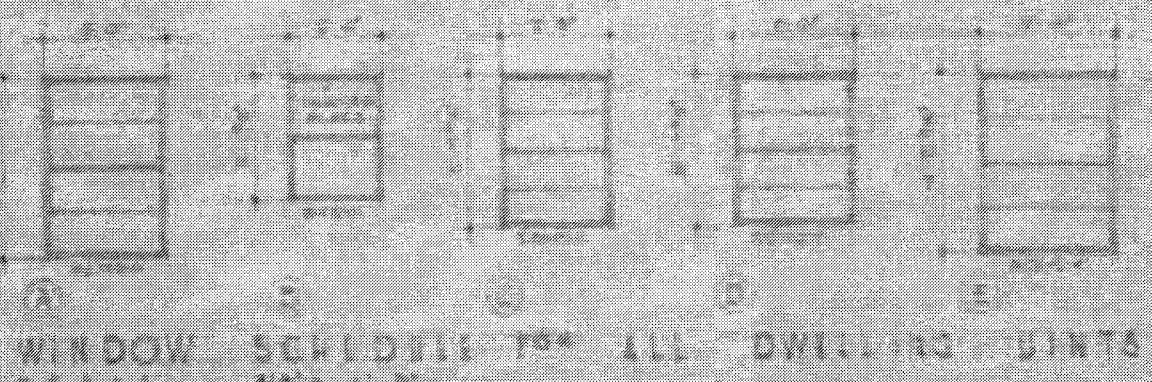
IMPORTANT NOTE: CopY of Original Plan by Olin Boese and Associates, Architects - 1957 (included for General Information only and do not represent actual present condition of the units). Bidders are required to field verify actual site and building conditions of units to be demolished prior to submitting a bid.



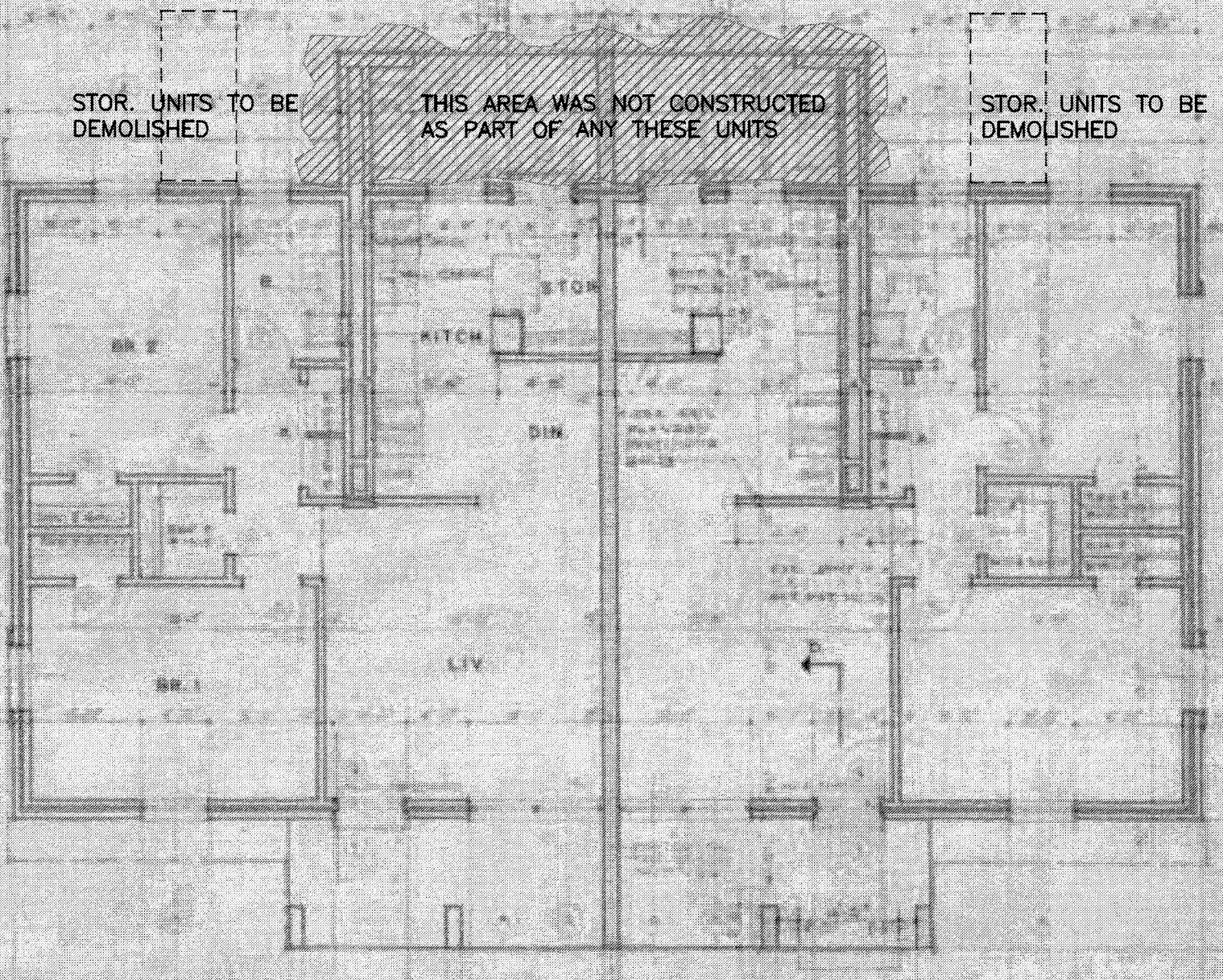
PLAN SHEET NOTES - DEMOLITION

- The Demolition Contractor (Firm) shall verify all existing conditions and familiarize himself with all the requirements of the specifications, drawings and the Request for Proposals for the Demolition work, prior to submitting a bid. The Demolition Contractor (Firm) shall be solely responsible for the ways, means and methods of the demolition operations.
- Extent of Selective Demolition is indicated on the drawings and includes removal of all existing building improvements, roofs, and walls down to the building foundation, slabs-on-grade to remain, cap all plumbing lines, water and sewer at 12" above floor finish. Strip all flooring from foundation slab and protect foundation from damage that may be caused by building demolition operations. Refer to scope or work for items to be salvaged.
- This informational plan is presented for general reference only, not all improvements shown on this informational plan were incorporated in the actual built units, just as, not all later modifications are necessarily shown on this plan. Demolition contractor shall verify all existing conditions prior to bidding. No additional cost will be approved after the bids are received for site apparent discrepancies.

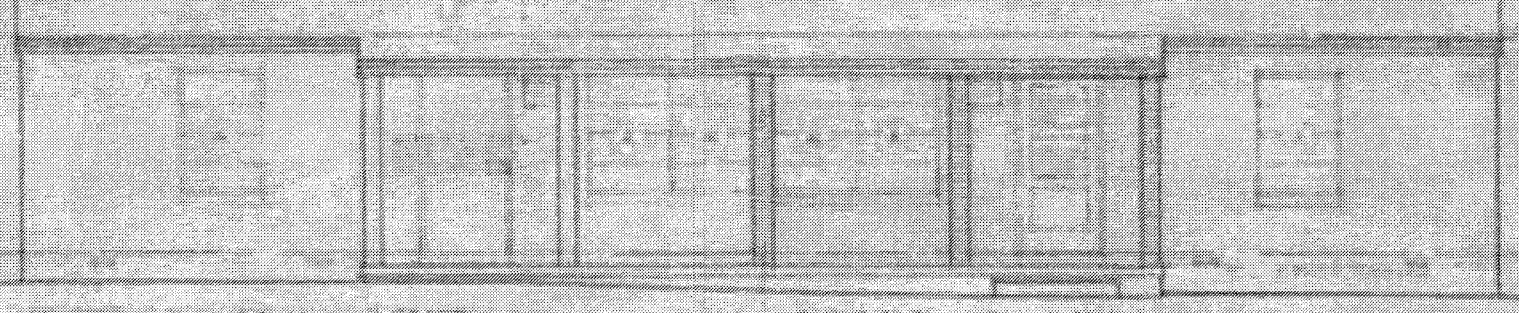




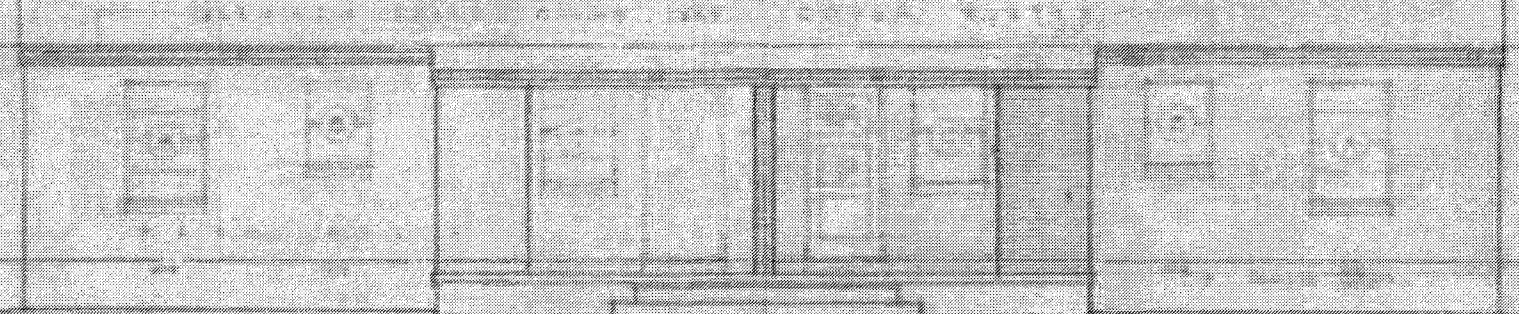
NOTE:
 ALL WINDOWS TO BE ALUMINUM
 DOUBLE HUNG. USE FULL LENGTH
 SCRIBED TOP DRY MITERS.
 ALL 20" HIGH WINDOWS TO HAVE
 DOUBLE GLASS.



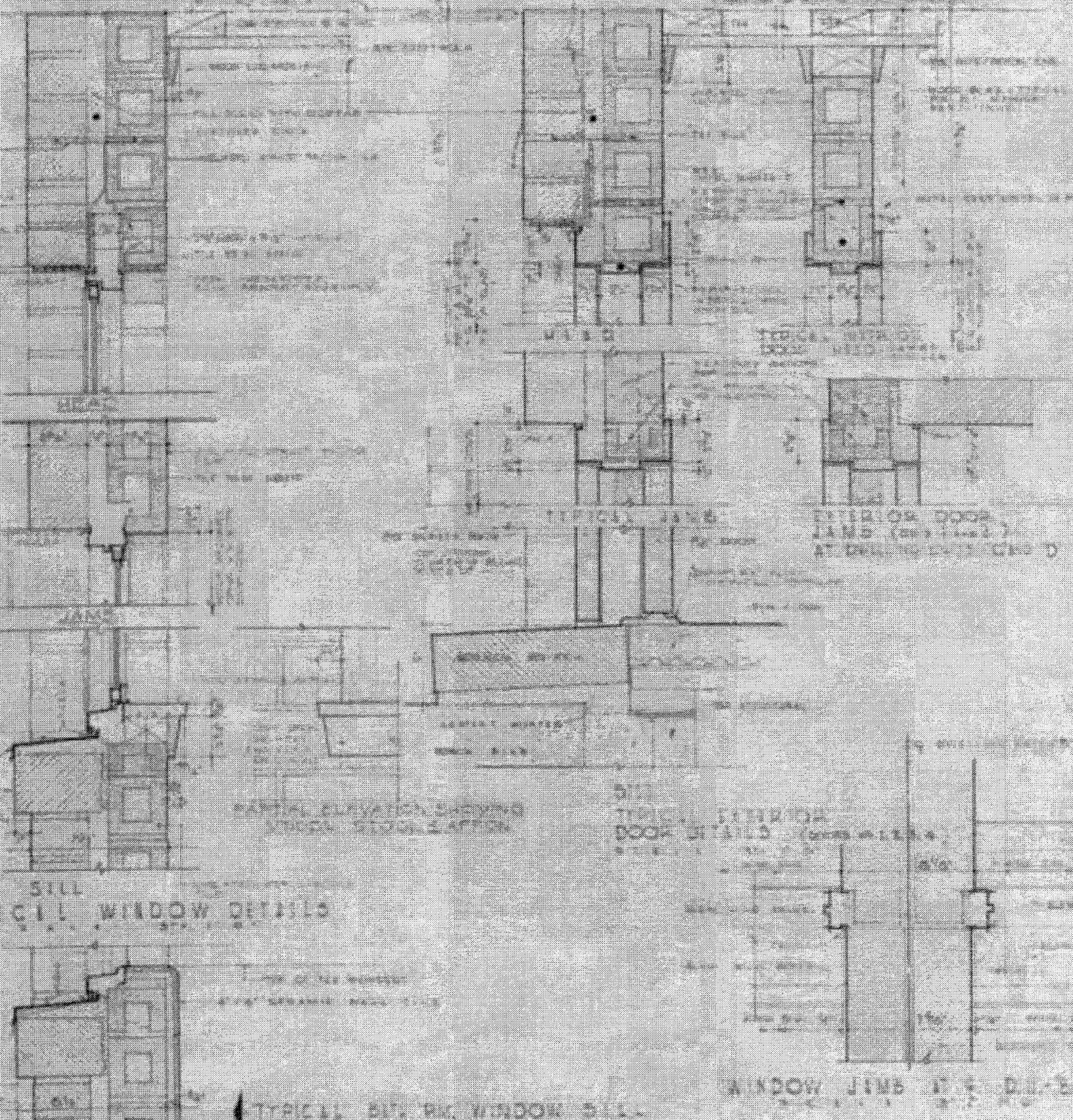
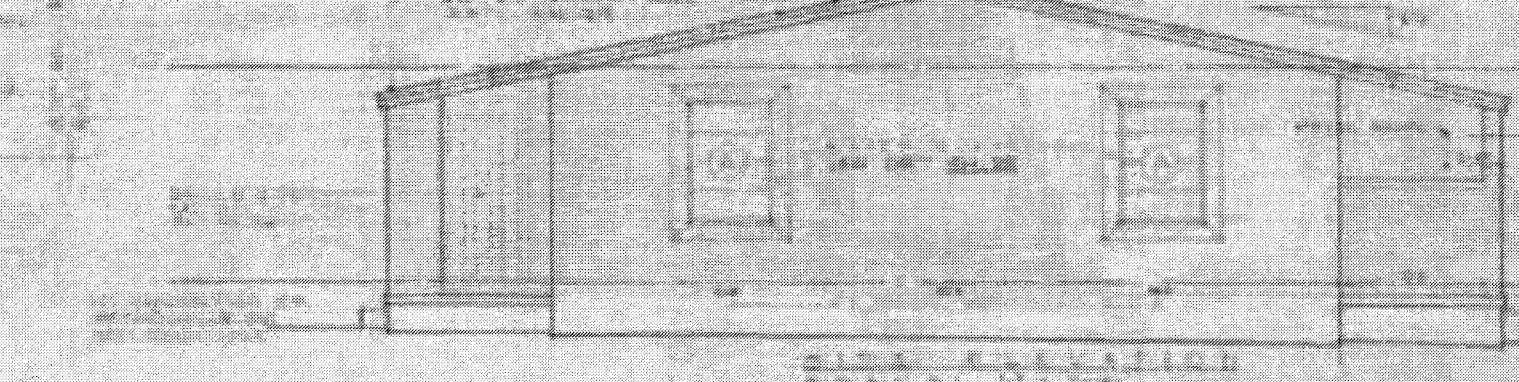
NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS



NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS



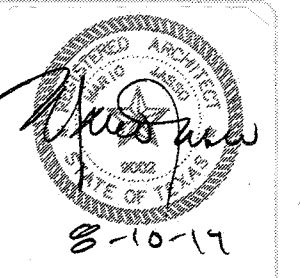
NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS



IMPORTANT NOTE:
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RUSSELL TERRACE REVITALIZATION
 LAREDO HOUSING FACILITIES CORPORATION
 SELECTIVE DEMOLITION - PHASE I
 500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
 TYPE "B"
 TWO BDRM
 UNITS

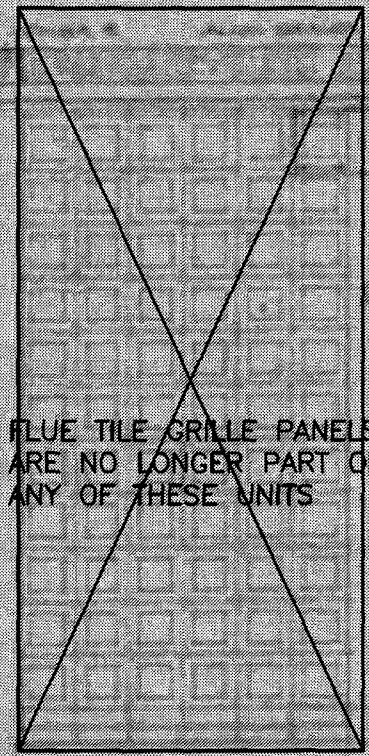
Drawn by: M.J.
 Checked: M.J.
 Approved: M.J.
 Job N°: 170401
 Date: 05/25/17

Drawing N°
D2-2
 Sht 5 of 8

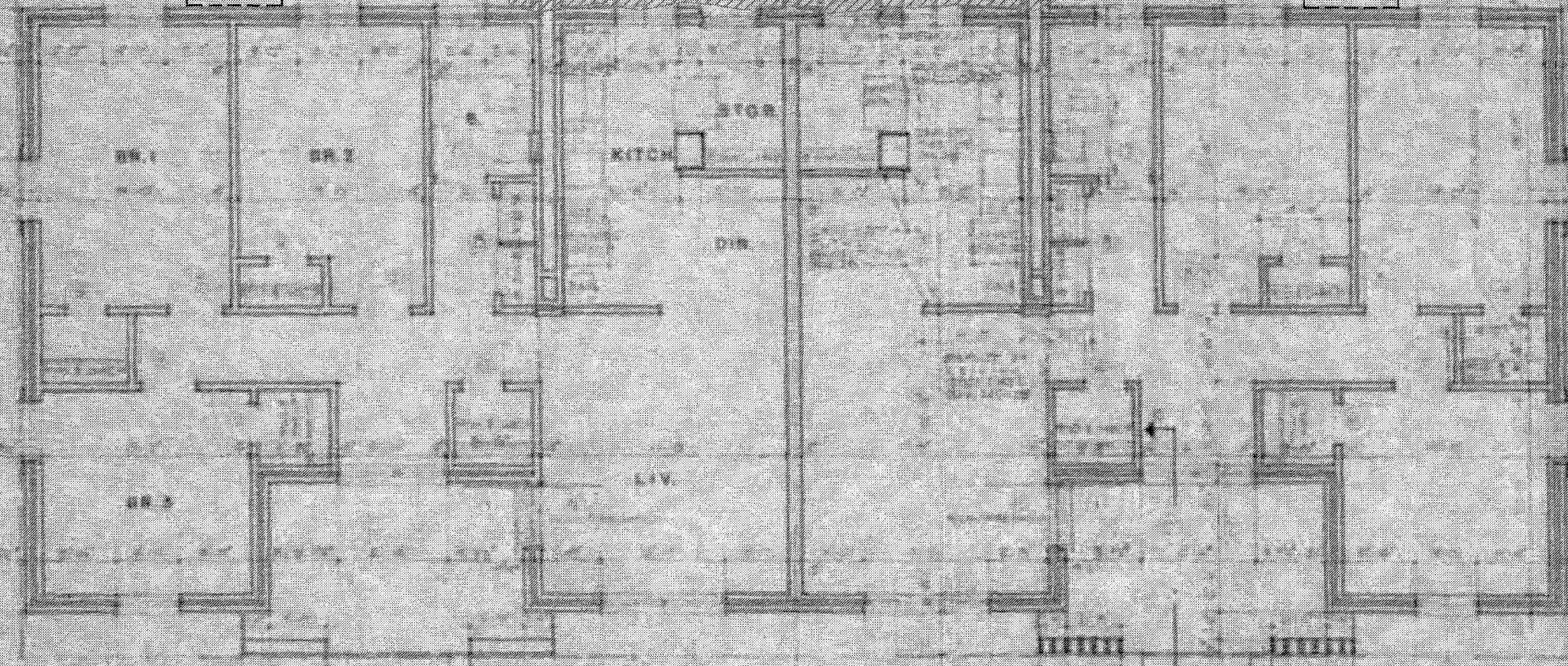
STOR. UNITS TO BE DEMOLISHED

THIS AREA WAS NOT CONSTRUCTED AS PART OF ANY THESE UNITS

STOR. UNITS TO BE DEMOLISHED



FLUE TILE GRILLE PANELS ARE NO LONGER PART OF ANY OF THESE UNITS



NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS

NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS

NO CHIMNEYS WERE CONSTRUCTED AS PART OF ANY THESE UNITS

DETAIL - ELEVATION FLUE TILE GRILLE

SECTION C-C

FLOOR PLAN

DETAIL - PARTIAL ELEV. UNIT 6 PORCH

SECTION B-B

ELEV. UNIT C PORCH

DETAIL ELEVATION OF PLASTIC PORCH NUMBER

REAR ELEVATION



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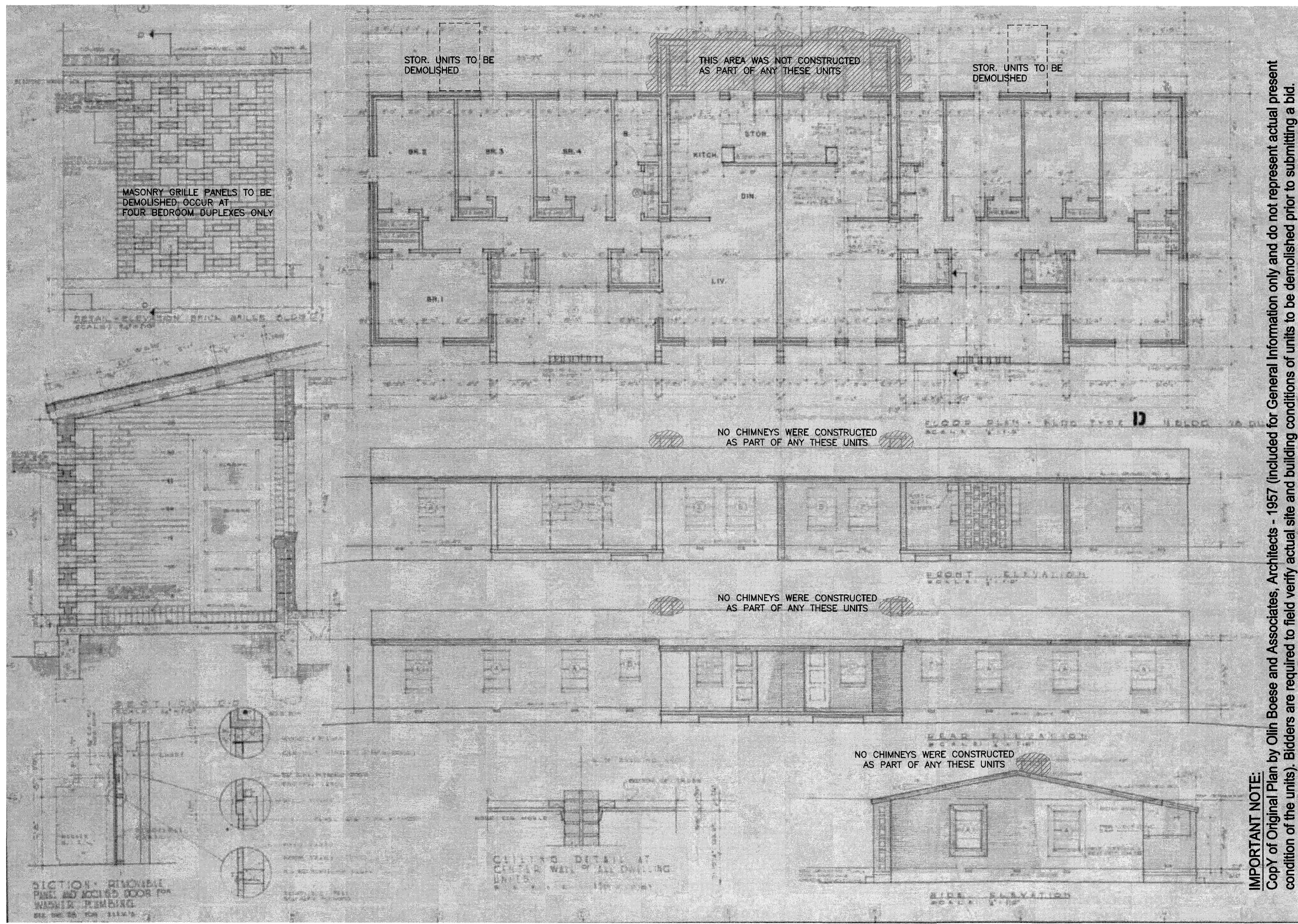
RUSSELL TERRACE REVITALIZATION
LAREDO HOUSING FACILITIES CORPORATION
SELECTIVE DEMOLITION - PHASE I
500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
TYPE "C"
THREE BDRM
UNITS

Drawn by: M.J.
Checked: M.J.
Approved: M.J.
Job N°: 170401
Date: 05/25/17

Drawing N°
D2-3
Sht 6 of 8

IMPORTANT NOTE:
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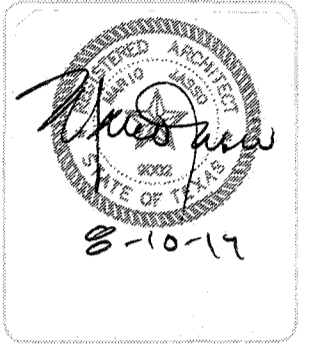


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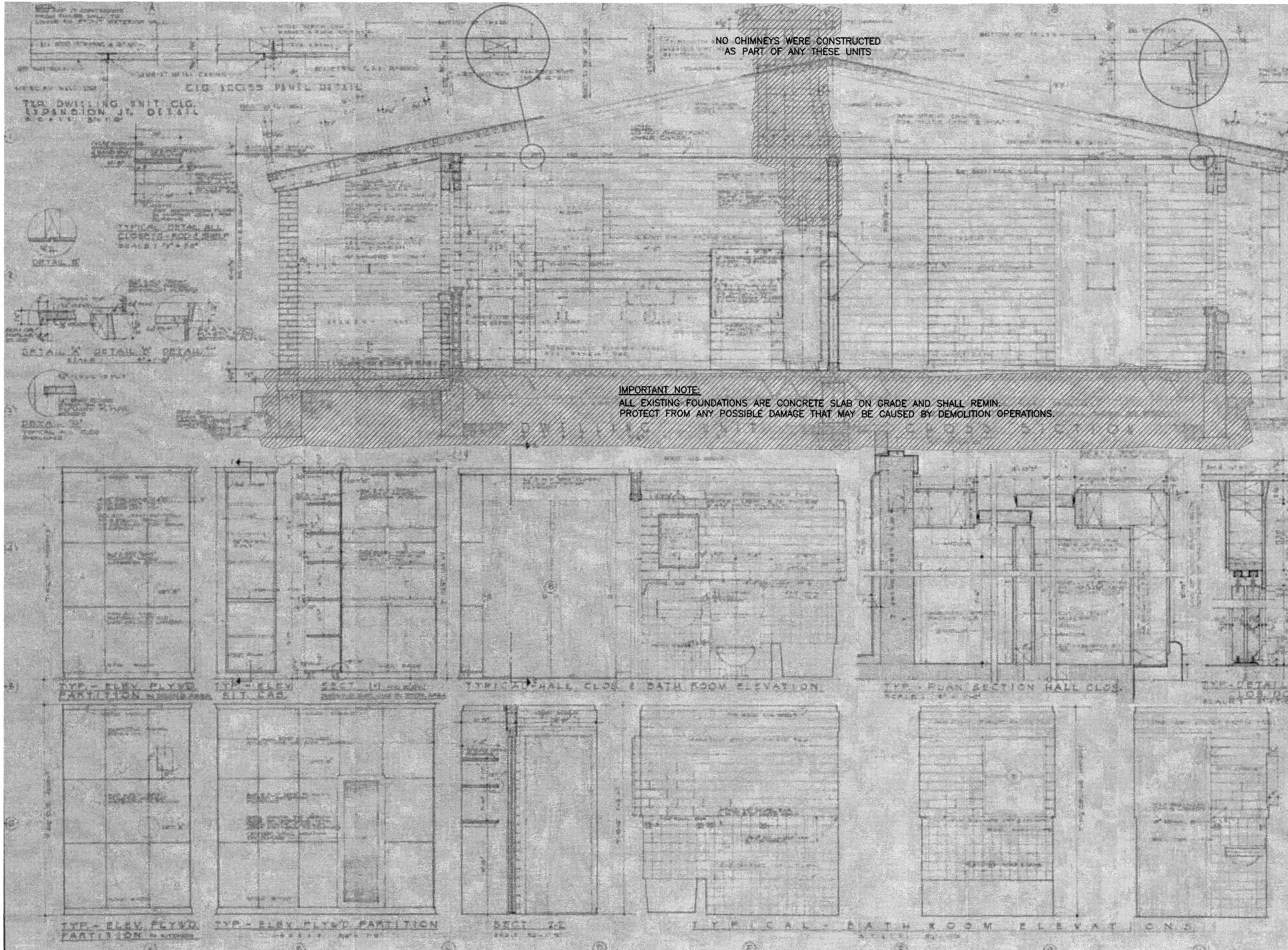


RUSSELL TERRACE REVITALIZATION
LAREDO HOUSING FACILITIES CORPORATION
 SELECTIVE DEMOLITION - PHASE I
 500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
**TYPE "D"
 FOUR BDRM
 UNITS**

Drawn by: M.J.
 Checked: M.J.
 Approved: M.J.
 Job N°: 170401
 Date: 05/25/17

Drawing N°
D2-4
 Sht. 7 of 8



NO CHIMNEYS WERE CONSTRUCTED
AS PART OF ANY THESE UNITS

IMPORTANT NOTE:
ALL EXISTING FOUNDATIONS ARE CONCRETE SLAB ON GRADE AND SHALL REMIN.
PROTECT FROM ANY POSSIBLE DAMAGE THAT MAY BE CAUSED BY DEMOLITION OPERATIONS.

IMPORTANT NOTE:
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RUSSELL TERRACE REVITALIZATION
LAREDO HOUSING FACILITIES CORPORATION
SELECTIVE DEMOLITION - PHASE I
500 RICHTER DRIVE LAREDO, TEXAS 78040

TITLE:
TYPICAL BUILDING CROSS SECT.

Drawn by: M.J.
Checked: M.J.
Approved: M.J.
Job N°: 170401
Date: 05/25/17

Drawing N°
D3-1
Sht. 8 of 8