

# Laredo BiblioTech at Ana Maria Lozano

for

## LAREDO HOUSING AUTHORITY

### CONSTRUCTION DOCUMENTS

#### SEPTEMBER 14TH 2019

OWNER  
**LAREDO HOUSING AUTHORITY**  
 6500 SPRINGFIELD AVE.  
 LAREDO TX. 78041  
 (956) 722-4521  
 CONTACT: ALMA D. MATA

ARCHITECT:  
**ABLE CITY**  
 901 VICTORIA STE A  
 LAREDO, TX 78040  
 956.722.8186  
 CONTACT: MARIO A. PENA, A.I.A.

STRUCTURAL ENGINEER:  
**SYNERGY STRUCTURAL ENGINEERING, INC.**  
 1119 FLORES AVE. STE 300  
 LAREDO, TX 78040  
 956.753.5860  
 CONTACT: VICTOR DE ANDA JR, P.E.

MEP:  
**TRINITY MEP ENGINEERING**  
 3533 MORELAND DR. STE. A  
 WESLACO, TX 78596  
 956.973.0500  
 CONTACT: LEONARDO MUNOZ, P.E.

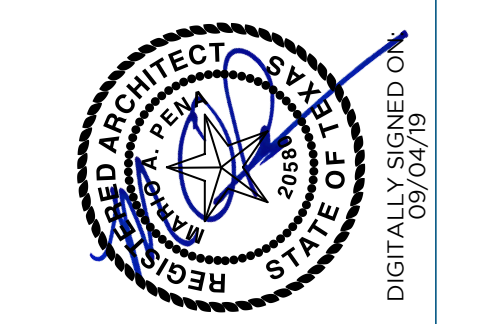
CIVIL ENGINEER:  
**CEC.**  
 7109 N. BARLETT STE. 201  
 LAREDO, TX 78041  
 956-729-7844  
 CONTACT: ANDRES A. RUBIO, E.I.T.



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**able city**  
 ARCHITECTURE. URBANISM. CITY MAKING  
 901 VICTORIA STE A LAREDO, TX 78040  
 956.722.8186 www.ablecity.com



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 Laredo, Texas 78041

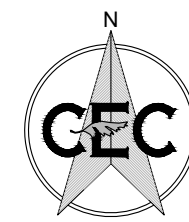


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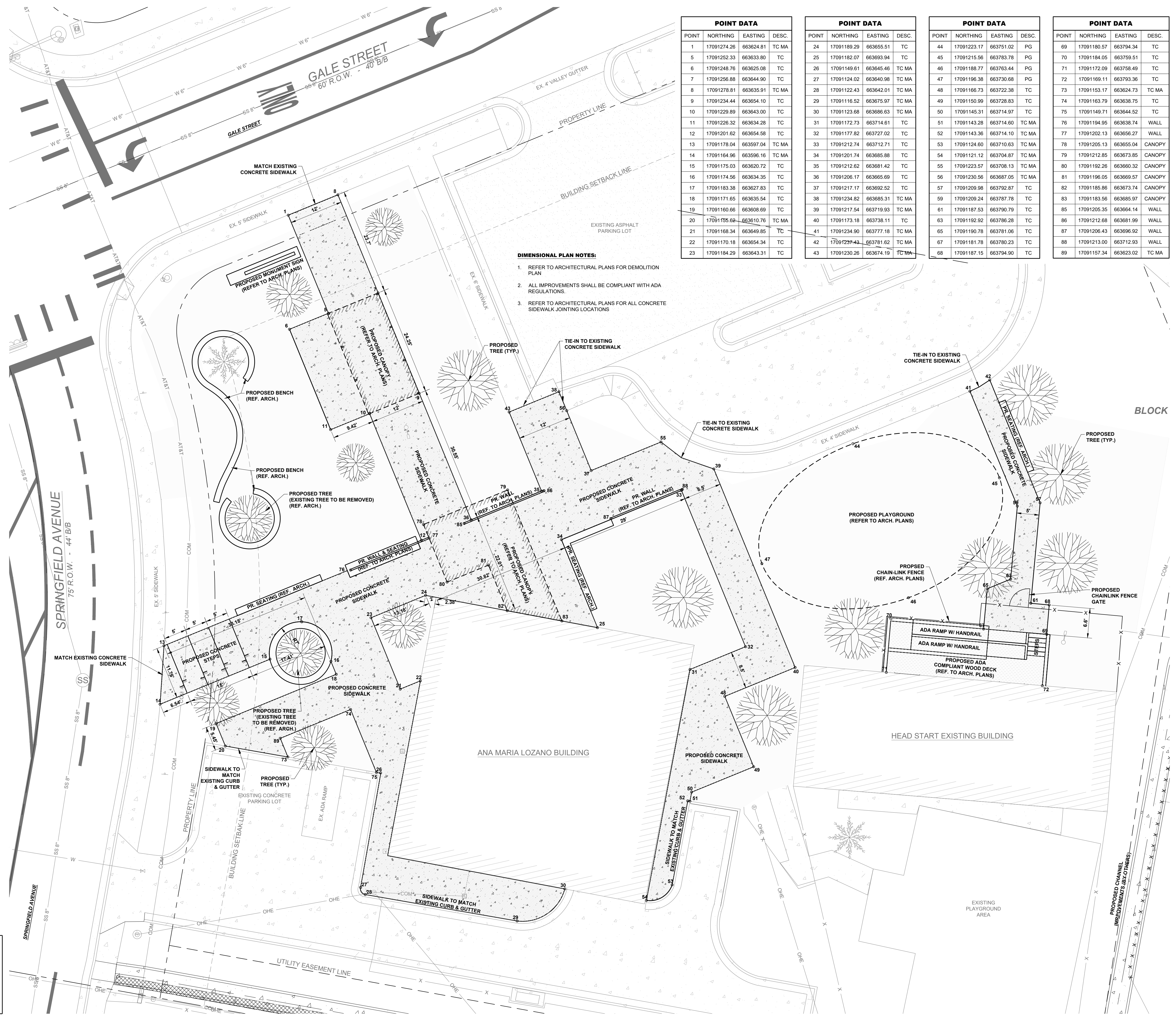
REVISIONS: XX/XX/XX

SHEET NO.:  
**T-1**  
 JOB NO.: 1914





0 2.5 5 10 20  
 24" X 36" SHEET - SCALE: 1" = 10'  
 11" X 17" SHEET - SCALE: 1" = 20'



POINT	NORTHING	EASTING	DESC.
1	17091274.26	663624.81	TC MA
5	17091252.33	663633.80	TC
6	17091248.76	663625.08	TC
7	17091256.88	663644.90	TC MA
8	17091278.81	663635.91	TC MA
9	17091234.44	663654.10	TC
10	17091229.89	663643.00	TC
11	17091226.32	663634.28	TC
12	17091201.62	663654.58	TC
13	17091178.04	663597.04	TC MA
14	17091164.96	663596.16	TC MA
15	17091175.03	663620.72	TC
16	17091174.56	663634.35	TC
17	17091183.38	663627.83	TC
18	17091171.65	663635.54	TC
19	17091160.66	663608.69	TC
20	17091155.62	663610.76	TC MA
21	17091168.34	663649.85	TC
22	17091170.18	663654.34	TC
23	17091184.29	663643.31	TC

POINT	NORTHING	EASTING	DESC.
24	17091189.29	663655.51	TC
25	17091182.07	663693.94	TC
26	17091149.61	663645.46	TC MA
27	17091124.02	663640.98	TC MA
28	17091122.43	663642.01	TC MA
29	17091116.52	663675.97	TC MA
30	17091123.68	663686.63	TC MA
31	17091172.73	663714.61	TC
32	17091177.82	663727.02	TC
33	17091212.74	663712.71	TC
34	17091201.74	663685.88	TC
35	17091212.62	663681.42	TC
36	17091206.17	663665.69	TC
37	17091217.17	663692.52	TC
38	17091234.82	663685.31	TC MA
39	17091217.54	663719.93	TC MA
40	17091173.18	663738.11	TC
41	17091234.90	663777.18	TC MA
42	17091237.43	663781.62	TC MA
43	17091230.26	663674.19	TC MA

POINT	NORTHING	EASTING	DESC.
44	17091223.17	663751.02	PG
45	17091215.56	663783.78	PG
46	17091188.77	663763.44	PG
47	17091196.38	663730.68	PG
48	17091166.73	663722.38	TC
49	17091150.99	663728.83	TC
50	17091145.31	663714.97	TC
51	17091143.28	663714.60	TC MA
52	17091143.36	663714.10	TC MA
53	17091124.60	663710.63	TC MA
54	17091121.82	663704.87	TC MA
55	17091223.57	663708.13	TC MA
56	17091230.56	663687.05	TC MA
57	17091209.98	663792.87	TC
59	17091209.24	663787.78	TC
61	17091187.53	663790.79	TC
63	17091192.92	663786.28	TC
65	17091190.78	663781.06	TC
67	17091181.78	663780.23	TC
68	17091187.15	663794.90	TC

POINT	NORTHING	EASTING	DESC.
69	17091180.57	663794.34	TC
70	17091184.05	663759.51	TC
71	17091172.09	663758.49	TC
72	17091169.11	663793.36	TC
73	17091153.17	663624.73	TC MA
74	17091163.79	663638.75	TC
75	17091149.71	663644.52	TC
76	17091194.95	663638.74	WALL
77	17091202.13	663656.27	WALL
78	17091205.13	663655.04	CANOPY
79	17091212.85	663673.85	CANOPY
80	17091192.26	663660.32	CANOPY
81	17091196.05	663669.57	CANOPY
82	17091185.86	663673.74	CANOPY
83	17091183.56	663685.97	CANOPY
85	17091205.35	663664.14	WALL
86	17091212.68	663681.99	WALL
87	17091206.43	663696.92	WALL
88	17091213.00	663712.93	WALL
89	17091157.34	663623.02	TC MA

- DIMENSIONAL PLAN NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR DEMOLITION PLAN
  - ALL IMPROVEMENTS SHALL BE COMPLIANT WITH ADA REGULATIONS.
  - REFER TO ARCHITECTURAL PLANS FOR ALL CONCRETE SIDEWALK JOINTING LOCATIONS

**LEGEND**

BUILDING LINE	[Symbol]
CURB & GUTTER	[Symbol]
CONCRETE PAVEMENT	[Symbol]
ASPHALT PAVEMENT	[Symbol]
COORDINATE POINT	○ 1
FENCELINE	[Symbol]
HANDRAIL	[Symbol]
TREE	[Symbol]
SIGN	[Symbol]

**ABBREVIATIONS:**  
 FF = FINISH FLOOR  
 BC = BACK OF CURB  
 BLDG = BUILDING  
 FL = FLOWLINE  
 INV = INVERT  
 NG = NATURAL GROUND  
 RIM = RIM ELEVATION  
 SW = SIDEWALK  
 TC = TOP OF CONCRETE

- GOVERNING SPECIFICATIONS**
- CITY OF LAREDO - STANDARD TECHNICAL SPECIFICATIONS MANUAL - LATEST REVISION
  - TXDOT - STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES - LATEST REVISION

**UTILITY DEPARTMENTS LAREDO, TEXAS**

**WATER DISTRIBUTION AND SANITARY SEWER**  
 HUMBERTO SERRADELL  
 LAREDO WATER UTILITIES DEPARTMENT  
 (956) 721-2000

**ELECTRIC COMPANY**  
 MARK OCHOA  
 A. E. P.  
 (956) 721-3169

**TELEPHONE COMPANY**  
 AIT  
 (956) 727-6749

**CABLE COMPANY**  
 TIME WARNER CABLE  
 (956) 721-0900

**CALL BEFORE YOU DIG!**  
 TEXAS ONE CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG DRILL, OR BLAST - STOP, CALL! TEXAS ONE CALL SYSTEM 811

**811**  
 Know what's below. Call before you dig.

**GEC**  
 CIVIL ENGINEERING CONSULTANTS  
 7109 N. Bartlett Avenue, Suite 201  
 Laredo, Texas, 78041  
 TEL: 956-729-7844 FAX: 956-729-7854  
 TBPE # F-2214 TBPS # 100410-00

**able city**  
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 901 VICTORIA, STE. A, LAREDO, TX 78040  
 956.725.7418 www.ablecity

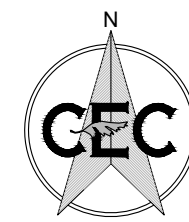
STATE OF TEXAS  
 JAIMIE F. GARCIA, JR.  
 121630  
 LICENSED PROFESSIONAL ENGINEER  
 09/13/2019

Laredo Housing Authority  
 Laredo Bibliotech at Ana Maria  
 Lozano  
 6500 Springfield Ave.  
 Laredo, Texas 78041

**DIMENSIONAL PLAN**  
 REVISIONS: XX/XX/XX

SHEET NO.:  
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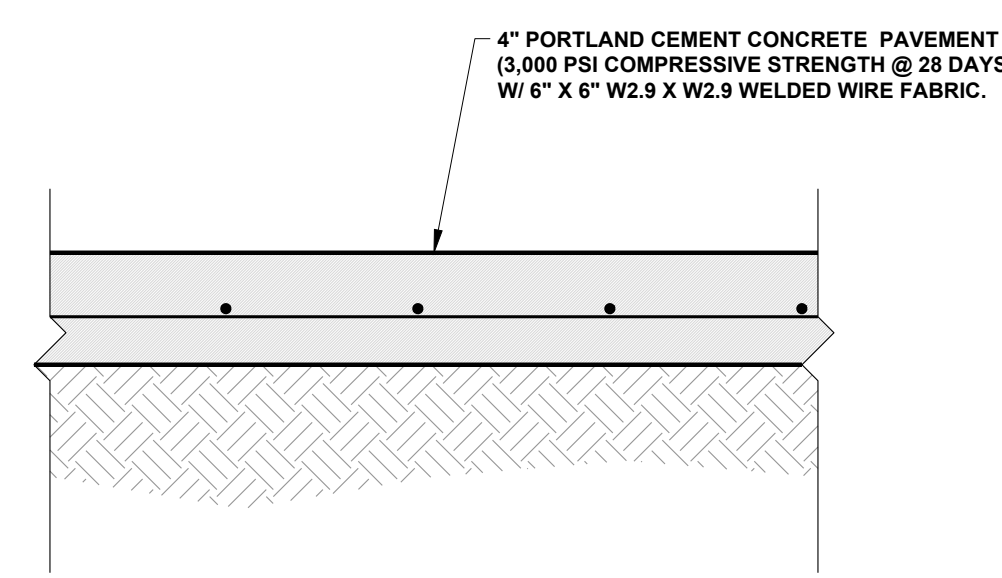
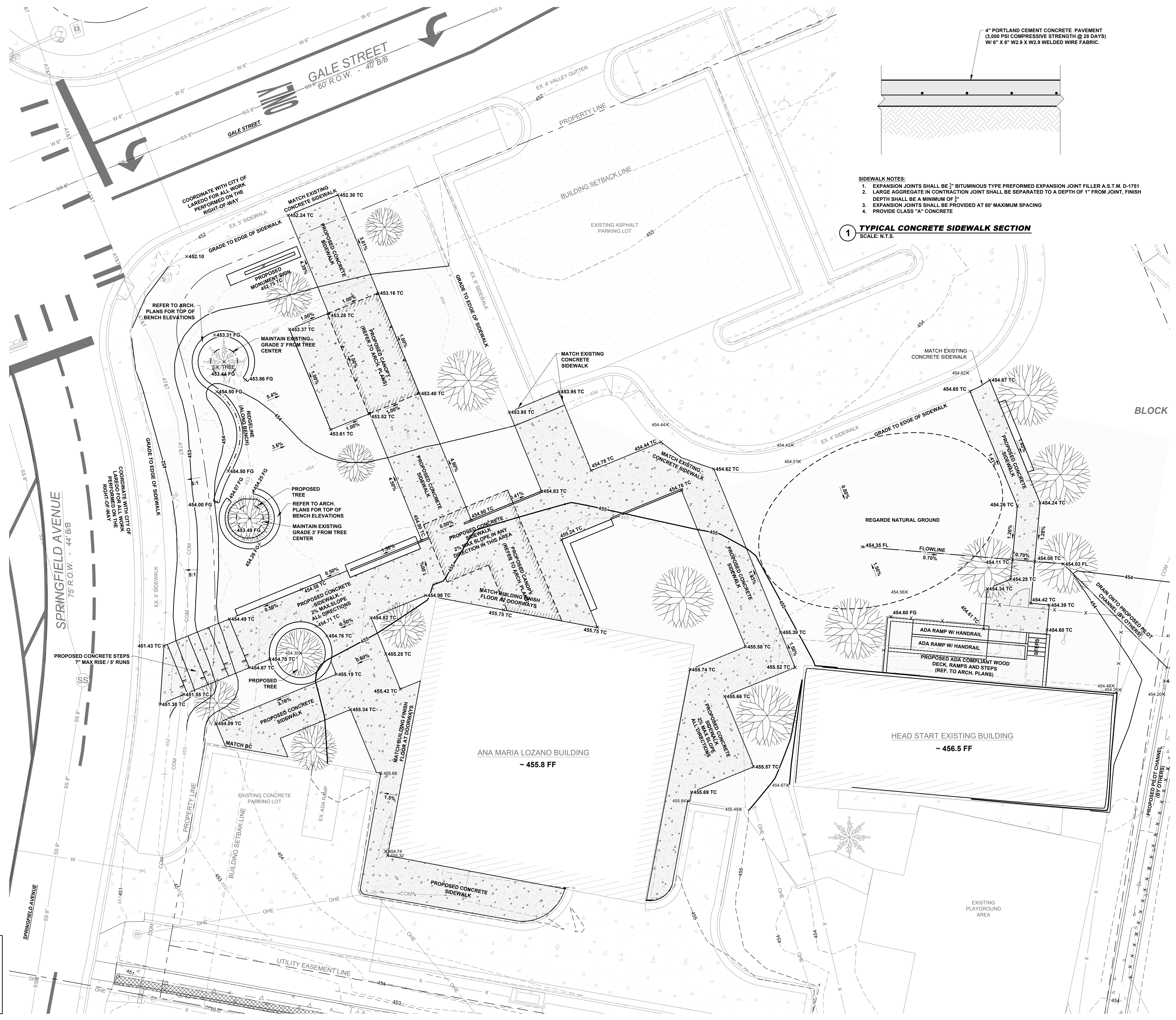
LEGEND	
BUILDING LINE	
CURB & GUTTER	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
CONTOUR (MAJOR)	— 450 —
CONTOUR (MINOR)	— 448 —
EXISTING CONTOUR (MAJOR)	- 450 -
EXISTING CONTOUR (MINOR)	- 448 -
GRADE	2.0%
SPOT ELEVATION	X 450.00 TC
GRADE BREAK	- - - - -
RIDGE LINE	- - - - -
FLOWLINE	- - - - -
ABBREVIATIONS:	
FF = FINISH FLOOR	
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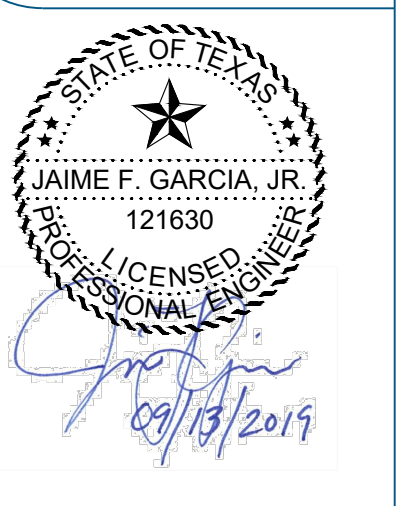
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- SIDEWALK NOTES:**
1. EXPANSION JOINTS SHALL BE 3" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER A.S.T.M. D-1751
  2. LARGE AGGREGATE IN CONTRACTION JOINT SHALL BE SEPARATED TO A DEPTH OF 1" FROM JOINT, FINISH
  3. DEPTH SHALL BE A MINIMUM OF 3"
  4. EXPANSION JOINTS SHALL BE PROVIDED AT 80' MAXIMUM SPACING
  5. PROVIDE CLASS "A" CONCRETE

**1 TYPICAL CONCRETE SIDEWALK SECTION**  
 SCALE: N.T.S.



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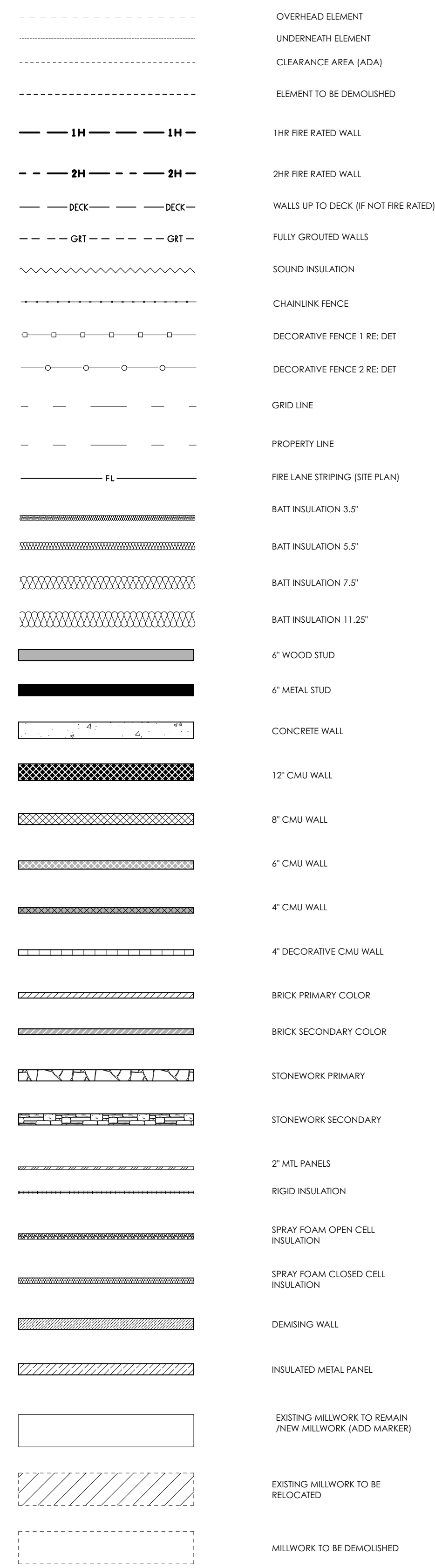
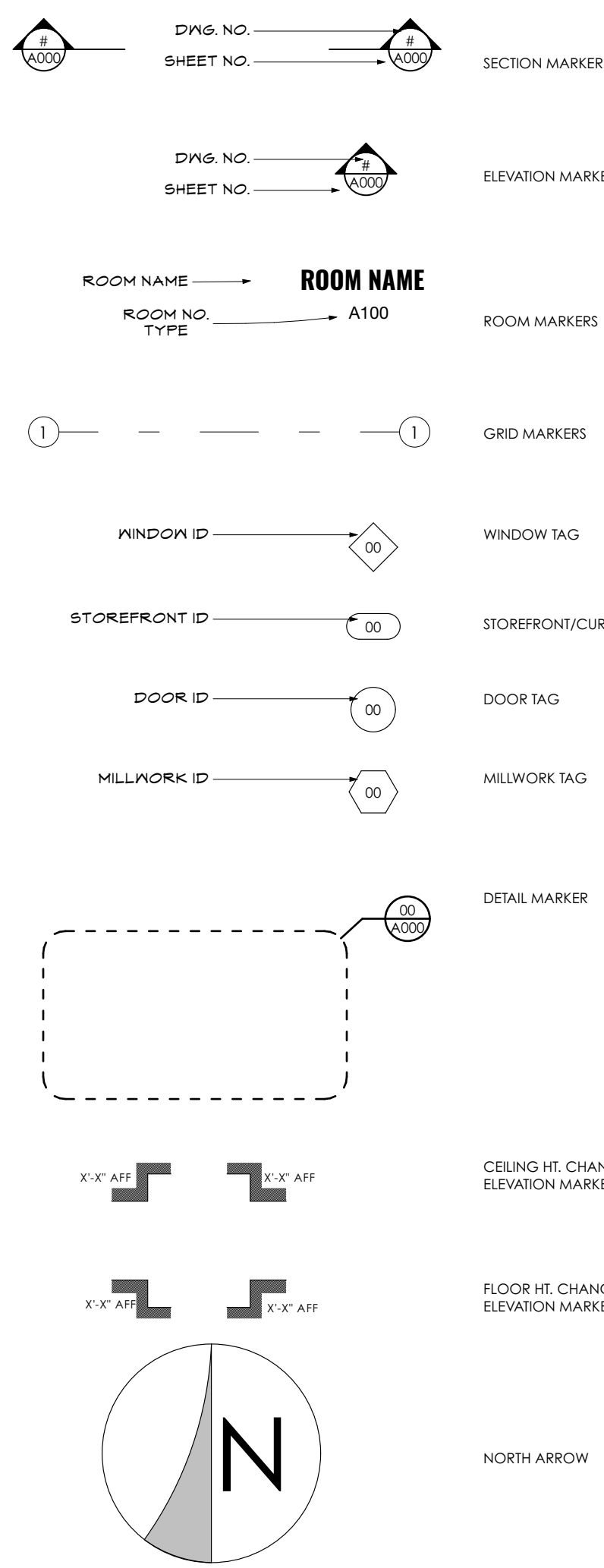
**GRADING PLAN**

REVISIONS: XX/XX/XX



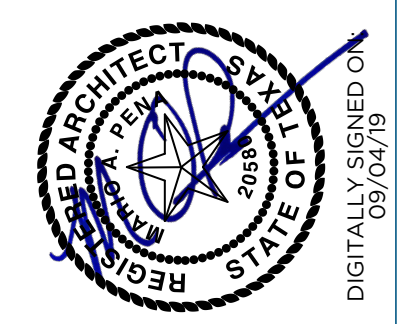
**ABBREVIATIONS**

<b>ABV</b> ABOVE	<b>JAN</b> JANITOR
<b>A/C</b> AIR CONDITIONING	<b>JT</b> JOINT
<b>ACOUS</b> ACOUSTICAL (ALL)	<b>JST</b> JOIST
<b>AD</b> AREA DRAIN	<b>LAM</b> LAMINATED
<b>AFF</b> ABOVE FINISH FLOOR	<b>LAV</b> LAVATORY
<b>ALT</b> ALTERNATE	<b>LP</b> LOW POINT
<b>ALUM</b> ALUMINUM	<b>MAX</b> MAXIMUM
<b>ANOD</b> ANODIZED	<b>MB</b> MARKER BOARD
<b>AP</b> ACCESS PANEL	<b>MECH</b> MECHANICAL
<b>APPROX</b> APPROXIMATE	<b>MTL</b> METAL
<b>AVC</b> AUDIO VISUAL CONSOLE	<b>MT</b> METAL THRESHOLD
<b>BD</b> BOARD	<b>MFR</b> MANUFACTURE (OR)
<b>BLDG</b> BUILDING	<b>MIN</b> MINIMUM
<b>BLKG</b> BLOCKING	<b>MIR</b> MIRROR
<b>BM</b> BEAM	<b>MISC</b> MISCELLANEOUS
<b>BEG</b> BEARING	<b>ML</b> MODULE LINE/MTL LATH
<b>BRJ</b> BRICK RELIEF JOINT	<b>MO</b> MASONRY OPENING
<b>BRZ</b> BRONZE	<b>MOD</b> MODULE (AR)
<b>BYO</b> BY OWNER	<b>MONO</b> MONOLITHIC
<b>CAB</b> CABINET	<b>MPP</b> MASONRY PARTITION
<b>CAR, CPT</b> CARPET	<b>MWP</b> MEMBRANE WATER PROOFING
<b>CB</b> CATCH BASIN	<b>NIC</b> NOT IN CONTACT
<b>CEM</b> CEMENT	<b>NIS</b> NOT TO SCALE
<b>CER</b> CERAMIC	<b>OC</b> ON CENTER
<b>CHBD</b> CHALKBOARD	<b>OD</b> OUTSIDE DIAMETER
<b>CJ</b> CONTROL JOINT	<b>OV</b> OVERHEAD
<b>CLG</b> CEILING	<b>OPNG</b> OPENING
<b>CMU</b> CONCRETE MASONRY UNIT	<b>OPF</b> OPPOSITE
<b>CL</b> CENTER LINE	<b>OJ</b> ON TOP OF OR OVER
<b>CLG</b> CEILING	<b>PL</b> PLATE
<b>CLO</b> CLOSET	<b>PLAS</b> PLASTER
<b>CO</b> CASED OPENING	<b>PLAM</b> PLASTIC LAMINATE
<b>COL</b> COLUMN	<b>PLYWD</b> PLYWOOD
<b>CONC</b> CONCRETE	<b>PS</b> PROJECTION SCREEN
<b>CONT</b> CONTINUOUS	<b>PTD</b> PAINTED
<b>CONTR</b> CONTRACT (OR)	<b>PTN</b> PARTITION
<b>CT</b> CARPET TILE	<b>PORC</b> PORCELAIN
<b>DET</b> DETAIL	<b>R</b> RISER
<b>DECOMP</b> DECOMPOSED	<b>R/A</b> RETURN AIR
<b>DF</b> DRYWALL FURRING	<b>RD</b> ROOF DRAIN
<b>DIM</b> DIMENSION	<b>RE(REF)</b> REFERENCE
<b>DIAM</b> DIAMETER	<b>RENF</b> REINFORCE
<b>DN</b> DOWN	<b>RM</b> ROOM
<b>DP</b> DRYWALL PARTITION	<b>REQ'D</b> REQUIRED
<b>DR</b> DOOR	<b>SCHED</b> SCHEDULE (D)
<b>DWG</b> DRAWING	<b>SF</b> SAND FINISH
<b>EA</b> EACH	<b>SHLV</b> SHELVES
<b>EDF</b> ELECTRIC DRINKING FOUNTAIN	<b>SHT</b> SHEET
<b>EJ</b> EXPANSION JOINT	<b>SIM</b> SIMILAR
<b>EL</b> ELEVATION	<b>SK</b> SINK
<b>ELEC</b> ELECTRICAL	<b>SM</b> SMOOTH
<b>ELEV</b> ELEVATOR OR ELEVATION	<b>SPEC</b> SPECIFICATIONS/ SPECIFIED
<b>EP</b> ELECTRICAL PANEL	<b>SQ</b> SQUARE
<b>EQ</b> EQUAL	<b>SS</b> SERVICE SINK
<b>EQUIP</b> EQUIPMENT	<b>STL</b> STEEL
<b>EX</b> EXISTING	<b>STD</b> STANDARD
<b>EXP</b> EXPANSION	<b>STOR</b> STORAGE
<b>EXT</b> EXTERIOR	<b>STRUCT</b> STRUCTURE (AL)
<b>FD</b> FLOOR DRAIN	<b>SUSP</b> SUSPENDED
<b>FEC</b> FIRE EXTINGUISHER CABINET	<b>T</b> TREAD
<b>FHC</b> FIRE HOSE CABINET	<b>TA</b> TOILET ACCESSORY
<b>FIN</b> FINISH(ED)	<b>TB</b> TACKBOARD
<b>FL</b> FLOOR	<b>TC</b> TEACHER CLOSET
<b>FM</b> FLOOR MAT	<b>TEMP</b> TEMPERED
<b>FR</b> FRAME	<b>THK</b> THICK
<b>FURR</b> FURRED(IN)	<b>TKBD</b> TACKBOARD
<b>FIVM</b> FUTURE T.V. MONITOR	<b>TRANS</b> TRANSPARENT
<b>GA</b> GAGE/GAUGE	<b>TOP</b> TOP OF PARAFET
<b>GALV</b> GALVANIZED	<b>TOW</b> TOP OF WALL
<b>GC</b> GENERAL CONTRACTOR	<b>TVM</b> T.V. MONITOR
<b>GL</b> GLASS	<b>TYP</b> TYPICAL
<b>GR</b> GROUND ROD ACCESS BOX	<b>U</b> URINAL
<b>GST</b> GLAZED CERAMIC TILE	<b>UNFIN</b> UNFINISHED
<b>GYP</b> GYPSUM	<b>UNO</b> UNLESS NOTED OTHERWISE
<b>GWB</b> GYPSUM WALL BOARD	<b>UV</b> UNDERFLOOR VENT
<b>HC</b> HANDICAP	<b>VERT</b> VERTICAL
<b>HDW</b> HARDWARE	<b>VC</b> VALVE CABINET
<b>HM</b> HOLLOW METAL	<b>VIN</b> VINYL
<b>HORIZ</b> HORIZONTAL	<b>VP</b> VISION PANEL
<b>HP</b> HIGH POINT	<b>WC</b> WATER CLOSET
<b>HT</b> HEIGHT	<b>WD</b> WOOD
<b>ID</b> INSIDE DIAMETER	<b>WDW</b> WINDOW
<b>INSUL</b> INSULATION	<b>WP</b> WATERPROOFING
<b>INT</b> INTERIOR	<b>W/</b> WITH
	<b>W/O</b> WITHOUT



**PROJECT GENERAL NOTES:**

- CONTRACTOR TO REMOVE ANY ABANDONED UTILITY LINES THROUGHOUT SITE.
- PROVIDE BARRICADES/ FENCING AT LIMITS OF WORK AREA TO PREVENT UNAUTHORIZED ACCESS TO WORK SITE.
- CONTRACTOR TO CONNECT ALL NECESSARY TEMPORARY AND PERMANENT UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VERIFY PROPERTY LINE LOCATIONS AT ITS OWN EXPENSE.
- ALL PROPOSED "EQUAL" SUBSTITUTIONS FOR PRODUCTS CALLED OUT BY BRAND OR MFR. MUST BE SUBMITTED FOR APPROVAL TO ARCHITECT AT LEAST 7 DAYS PRIOR TO BID OPENING.
- CONTRACTOR SHALL IDENTIFY THE LOCATION OF ALL EXISTING UNDER GROUND LINES & STRUCTURES PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO ISOLATE ANY NEW CONSTRUCTION FROM EXISTING UNDERGROUND UTILITIES AS PER THE AFFECTED UTILITY OWNER'S INSTRUCTIONS. IF MODIFICATIONS TO NEW UNDERGROUND STRUCTURES ARE REQUIRED, CONTRACTOR TO SUBMIT MODIFICATIONS FOR APPROVAL BY ARCHITECT/ ENGINEER.
- CONTRACTOR TO PAINT ALL EXPOSED CONDUITS AND STRUCTURAL STEEL. COORDINATE WITH ARCHITECT FOR COLOR.
- ALL EXISTING OFF-SITE IMPROVEMENTS, PUBLIC STREETS, CURB AND GUTTER, SIDEWALKS, SIGNAGE, UTILITIES, ETC. TO REMAIN. PROTECT DURING DEMOLITION OPERATIONS. IF DAMAGED, REPAIR AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- SEE CIVIL PLANS FOR ELEVATIONS, EXISTING CONDITIONS COORDINATION, AND EXTERIOR IMPROVEMENTS CONSTRUCTION DETAILS AND CONTROL JOINTS REQUIREMENTS.
- COORDINATE WITH MEP LOCATIONS AND TYPES OF LIGHT POLES.
- IF CONTRACTOR ENCOUNTERS ANYTHING THAT IT CONSIDERS TO IMPACT THE COST OF CONSTRUCTION AND/OR SCOPE OF WORK, HE/SHE SHALL NOTIFY THE OWNER IMMEDIATELY PRIOR TO THE EXECUTION OF ANY ADDITIONAL WORK. FAILURE TO DO SO DEEMS THE CONTRACTOR RESPONSIBLE FOR THE COST OF SUCH WORK.
- ARCHITECT HAS ARRANGED THE DRAWINGS AND SPECIFICATIONS INTO DESIGNATED SECTIONS AND DIVISIONS FOR CONVENIENCE OF REFERENCE ONLY. SUCH ARRANGEMENT IS NOT TO BE CONSIDERED AS A COMPLETE SEGREGATION OF ALL THE WORK REQUIRED TO BE PERFORMED, OR MATERIALS TO BE FURNISHED BY A GIVEN CONTRACTOR, SUB CONTRACTOR OR MATERIALS SUPPLIER. EACH CONTRACTOR, SUB CONTRACTOR OR MATERIALS SUPPLIER, MUST REVIEW AND CONSIDER THE CONTRACT DOCUMENTS IN THEIR ENTIRETY.
- IN GENERAL, THE DRAWINGS WILL INDICATE DIMENSIONS, POSITIONS, AND KIND OF CONSTRUCTION. WORK NOT PARTICULARLY DETAILED, MARKED, OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, MARKED OR SPECIFIED.
- ALL PRODUCTS SPECIFIED BY ARCHITECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CURRENT MANUFACTURER'S INSTALLATION INSTRUCTIONS. MANUFACTURER INSTALLATION INSTRUCTIONS IN CONFLICT WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF WORK. PRODUCTS NOT PROVIDED WITH INSTALLATION INSTRUCTIONS SHALL BE INSTALLED IN ACCORDANCE WITH BEST TRADE PRACTICES OF THE INDUSTRY. ALL INSTALLATIONS SHALL BE PERFORMED BY EXPERIENCED & SKILLED WORKERS.
- THERE SHALL BE NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT AND CONSULTANTS. IF APPLICABLE, APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTIONS ARISE PERTAINING TO THE CONSTRUCTION DOCUMENTS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL SUBMIT SUBSTITUTION REQUESTS FOR SPECIFIED MATERIALS WITH COMPLETE DATA, DRAWINGS, & SAMPLES AS NECESSARY FOR REVIEW BY ARCHITECT & OWNER. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR INVESTIGATION BEFORE A DECISION MUST BE MADE. IF A SUBSTITUTION IS APPROVED BY THE ARCHITECT, IT IS THE UNDERSTANDING THAT THE CONTRACTOR GUARANTEES THE SUBSTITUTED MATERIAL TO BE EQUAL OR BETTER THAN THE ORIGINAL SPECIFICATION. ALL CHANGES TO THE CONTRACT SHALL BE APPROVED BY ARCHITECT AND OWNER.
- ALLOWANCES HAVE BEEN PROVIDED FOR MATERIALS NOT YET SPECIFIED BY THE ARCHITECT REFER TO ALLOWANCE SCHEDULE FOR ALLOWANCE INFORMATION. ITEMS PAYABLE BY ALLOWANCE ACCOUNTS INCLUDE ONLY THE MATERIALS LISTED. TRANSPORTATION OF THESE ITEMS, TAXES, STORAGE, AND INSTALLATION ARE NOT PAYABLE FROM THE ALLOWANCE AMOUNT.
- IN PREPARING THEIR PROPOSAL, THE CONTRACTOR IS PRESUMED TO HAVE VISITED THE SITE, EVALUATED EXISTING CONDITIONS AFFECTING THE WORK TO BE PERFORMED, CAREFULLY EXAMINED THE CONSTRUCTION DOCUMENTS, DETERMINED TO THEIR SATISFACTION, THE MEANS AND METHODS OF REMOVAL AND STORAGE OF MATERIAL, AND THE SEQUENCING OF CONSTRUCTION OPERATIONS AND THE PROBLEMS HERETO. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY TO THE CONTRACTOR FOR ANY ERROR THROUGH NEGLIGENCE IN OBSERVING THE SITE CONDITIONS.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION SERVICE AND EQUIPMENT REQUIRED FOR THE EXECUTION AND COMPLETION OF WORK SHOWN IN THE CONSTRUCTION DOCUMENTS OR REQUIRED BY GOVERNING CODES.
- CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND CONDITIONS AT THE JOB SITE WITH ACTUAL FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. INSPECT RELATED WORK AND ADJACENT SURFACES AND PROTECT ANY ADJOINING PROPERTIES FROM ANY DAMAGE CAUSED BY THE CONSTRUCTION.
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE BUILDING CODES AND ALL APPLICABLE ORDINANCES. ALL MATERIALS USED ON THE JOB SHALL BE NEW, UNUSED (UNLESS NOTED OTHERWISE), CLEAN AND FREE FROM DEFECTS.
- IF CONTRACTOR REQUIRES AN ONSITE SECURE STORAGE YARD DURING CONSTRUCTION, CONTRACTOR MAY ADD, AT ITS EXPENSE, SUCH YARD IN THE AREA DESIGNATED IN THE SITE PLAN. COORDINATE WITH OWNER IF ALTERNATE LOCATION IS NEEDED.
- PROVIDE STORM WATER POLLUTION PREVENTION AS INDICATED ON THE CIVIL ENGINEER'S SWPPP.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS. FAILURE TO DO SO OBLIGATES CONTRACTOR TO PROVIDE THE MOST COSTLY OF THE CONFLICTING ITEMS.
- ALL EXISTING TRAFFIC SIGNAGE TO REMAIN; PROTECT DURING DEMOLITION OPERATIONS. IF DAMAGED BY DEMOLITION OPERATIONS, REPLACE AS REQUIRED BY THE LOCAL JURISDICTION WITH AUTHORITY.



PUBLISHED: 9/4/19

**LAREDO HOUSING AUTHORITY**  
**Laredo BiblioTech at Ana**  
**Maria Lozano**  
6500 SPRINGFIELD AVE.  
Laredo, Texas 78041

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REVISIONS: XX/XX/XX



TEXAS ACCESSIBILITY STANDARDS 2012 (effective MARCH 15, 2012)

THE FOLLOWING SECTION OF DETAILS PROVIDES INFORMATION ON REQUIREMENTS FOR DISABLED ACCESSIBILITY. THE REQUIREMENTS COMBINE MINIMUM REQUIREMENTS OF STATE AND FEDERAL AGENCIES. THE PURPOSE OF THIS SECTION IS TO HELP AVOID INSTALLATION OF MATERIALS OR CONSTRUCTION PROJECTS THAT WOULD LIMIT ACCESSIBILITY. THE SCOPE OF THIS SECTION IS LIMITED AND THE INDIVIDUALS WORKING ON THE PROJECT SHOULD FAMILIARIZE THEMSELVES WITH TEXAS ACCESSIBILITY STANDARD (TAS) AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR ADDITIONAL INFORMATION AND REQUIREMENTS. COPIES OF THESE DOCUMENTS MAY BE OBTAINED BY CONTACTING THE FOLLOWING:

TAS: TEXAS DEPT. OF LICENSING & REGULATION  
P.O. BOX 12157  
AUSTIN, TEXAS 78711  
(800)803-9202  
TDD: (800)735-2989  
www.licensure.state.tx.us

ADAAG: SOUTHWEST DISABILITY AND BUSINESS TECHNICAL ASSISTANCE CENTER FOR REGION IV  
2323 S. SHEPHERD, STE 1000  
HOUSTON, TEXAS 77019  
ADA HOTLINE: (800)949-4232  
TDD: (713)520-5136  
FAX: (713)520-5252  
(713)520-5785

NOT ALL CONDITIONS SHOWN ON THIS SHEET MAY BE REQUIRED BY THIS PROJECT. COMPARE THE REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS WITH THIS SHEET FOR RELEVANCE OF INFORMATION. DIMENSIONS INDICATED ARE THE MINIMUM CLEAR DIMENSIONS REQUIRED BY THE TAS GUIDELINES. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF BUILDING ELEMENTS TO ASSURE THAT DIMENSIONS SHOWN ARE PROVIDED. THE DETAILS DEPICTED ARE GRAPHIC REPRESENTATIONS OF THE REQUIREMENTS OUTLINED IN THE TAS AND DO NOT NECESSARILY SHOW ALL ITEMS REQUIRED FOR FULL COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH TAS.

THE TECHNICAL REQUIREMENTS ARE BASED ON ADULT DIMENSIONS AND ANTHROPOMETRICS. IN ADDITION, THIS DOCUMENT INCLUDES TECHNICAL REQUIREMENTS BASED ON CHILDREN'S DIMENSIONS AND ANTHROPOMETRICS FOR DRINKING FOUNTAINS, WATER CLOSETS, TOILET COMPARTMENTS, LAVATORIES AND SINKS, DINING SURFACES, AND WORK SURFACES.

IN THE EVENT THE INFORMATION ON THE PLAN SHEETS DOES NOT MEET THE MINIMUM REQUIREMENTS OF THE SECTION, THEN THE INFORMATION SHALL BE PRESENTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION OF SPECIFIC AREA OF WORK.

208 PARKING SPACES (TABLE 208.2)

Total Parking in Lot	Required Minimum number of Accessible Spaces	Total Parking in Lot	Required Minimum number of Accessible Spaces
1 to 25	1	201 to 300	6
26 to 50	2	301 to 400	7
51 to 75	3	401 to 500	8
76 to 100	4	501 to 1000	9
101 to 150	5	1001 and over	20 plus 1 for each 100 over 1000
151 to 200	6		

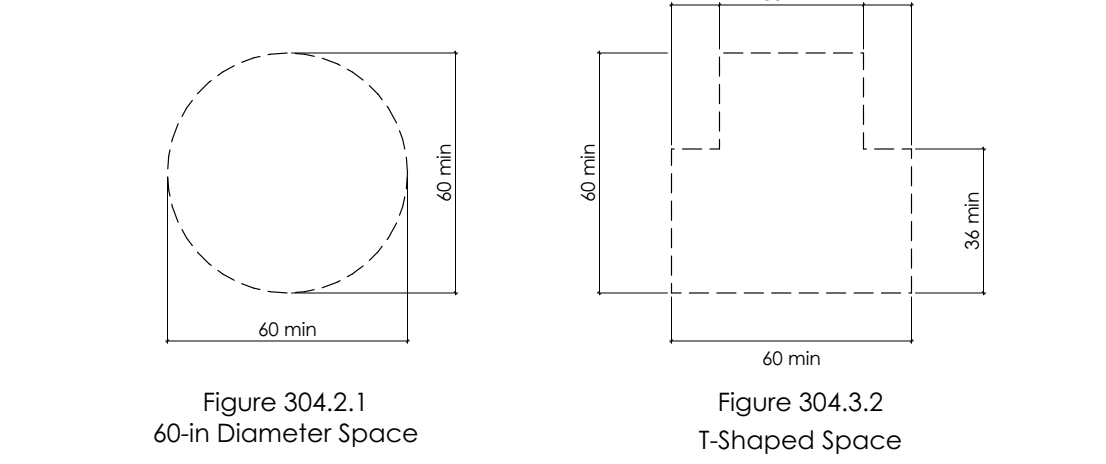
221 ASSEMBLY AREAS (TABLE 221.2.1)

Capacity of Seating in Assembly Areas	Number of Required Wheelchair Spaces
4 to 25	1
26 to 50	2
51 to 300	4
301 to 500	6
over 500	6, plus additional space for each total seating capacity increase of 100

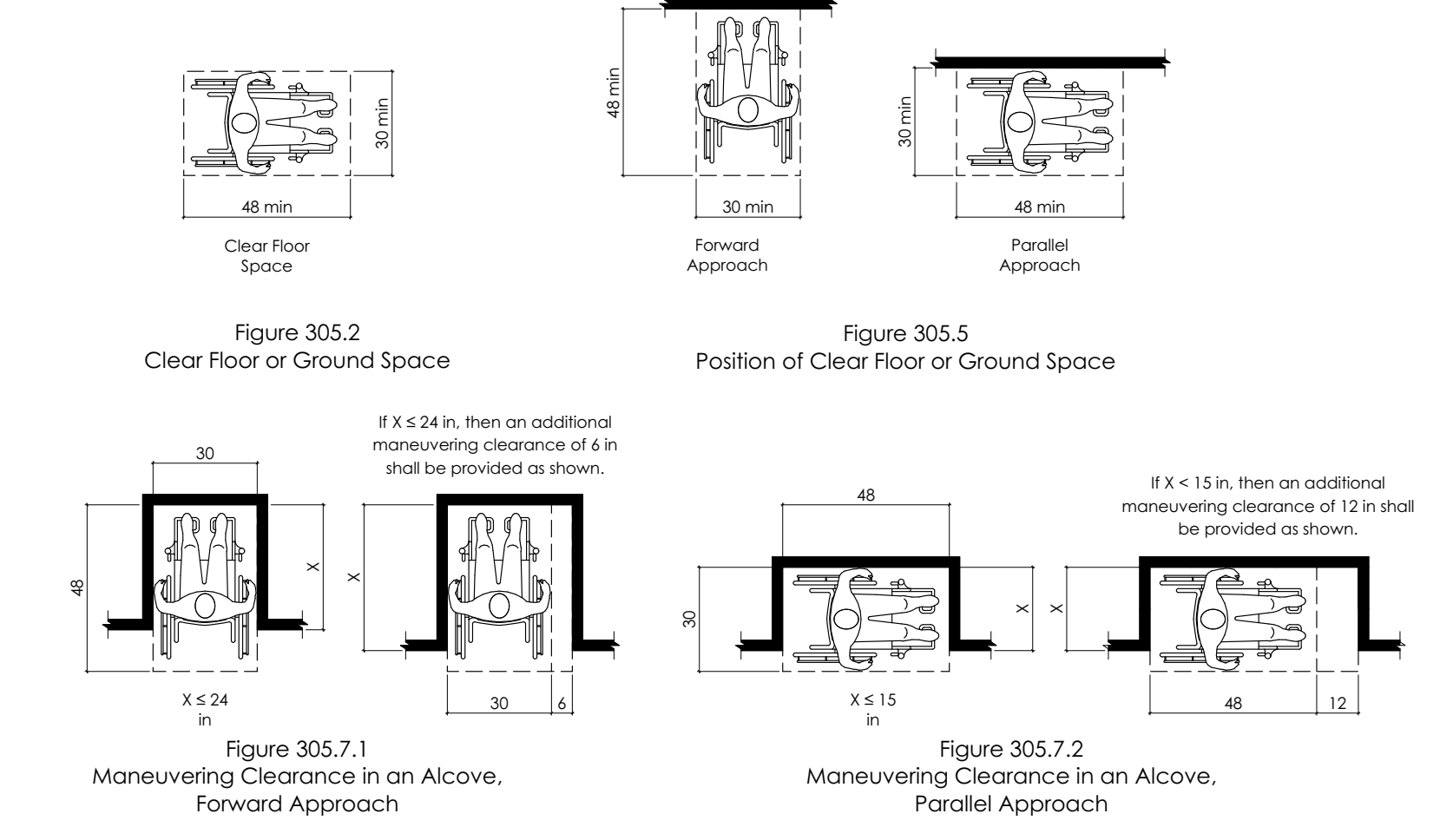
303 CHANGES IN LEVEL



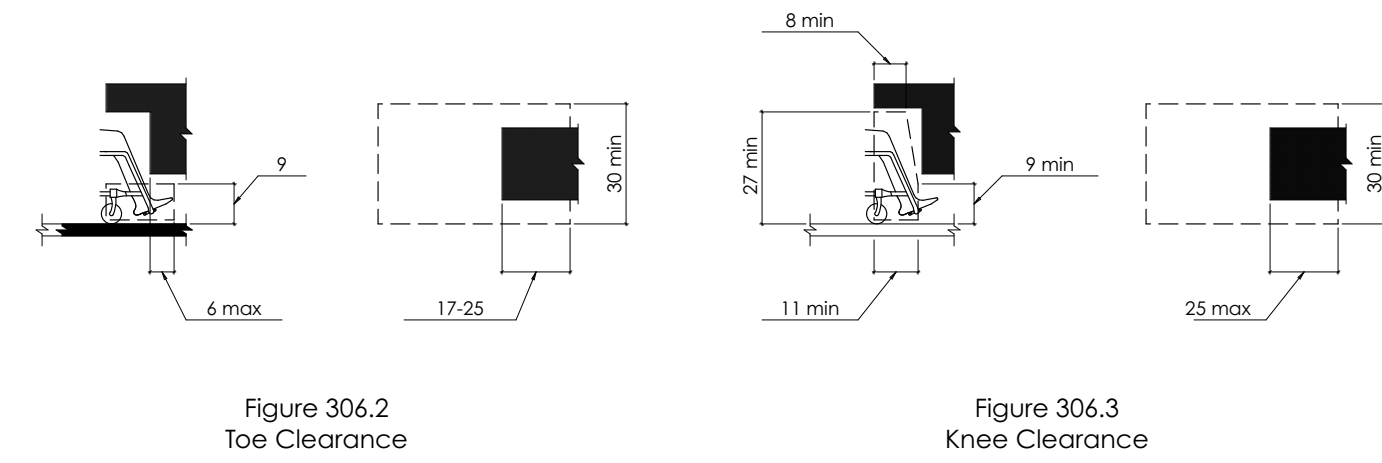
304 TURNING SPACE



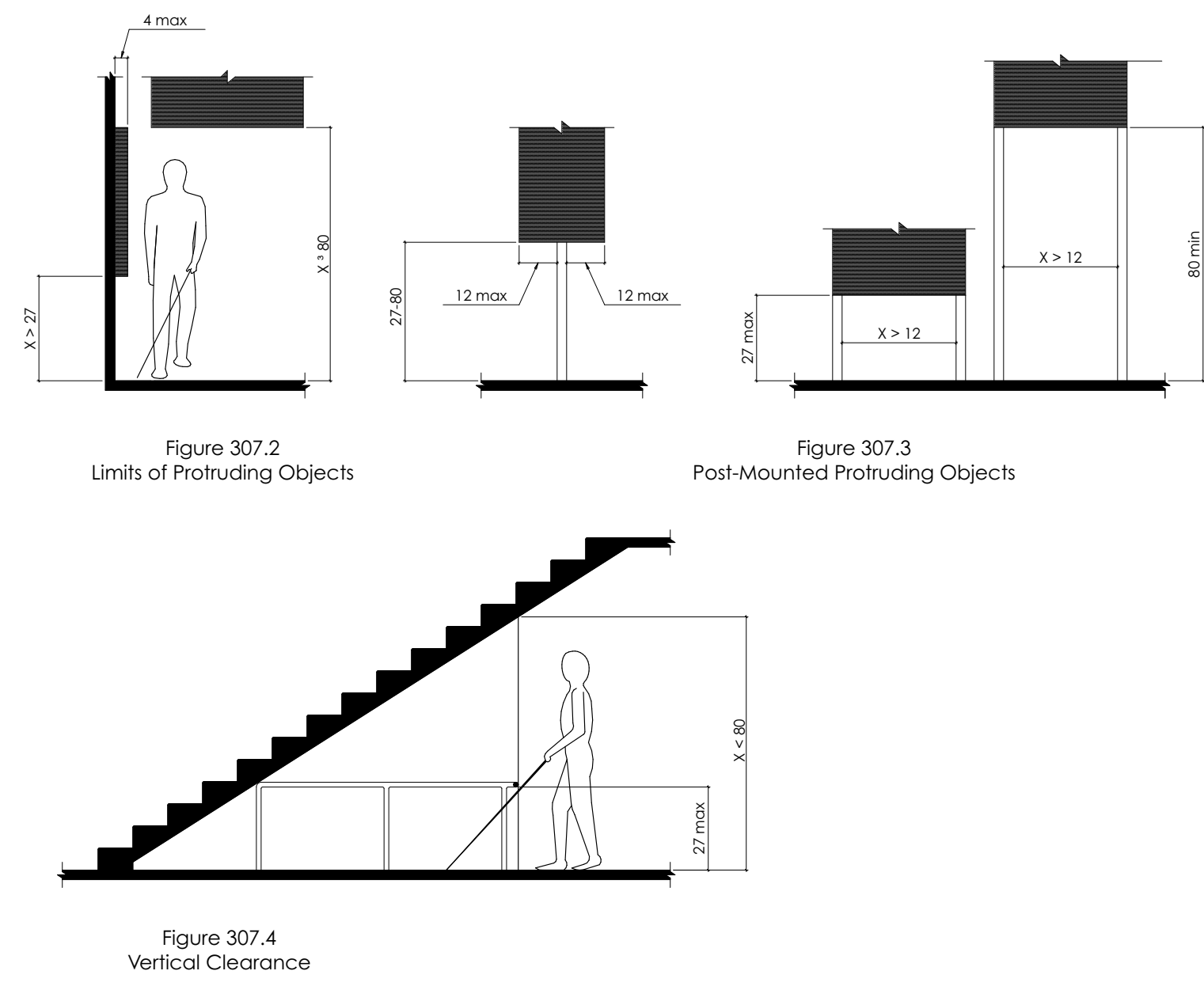
305 CLEAR FLOOR OR GROUND SPACE



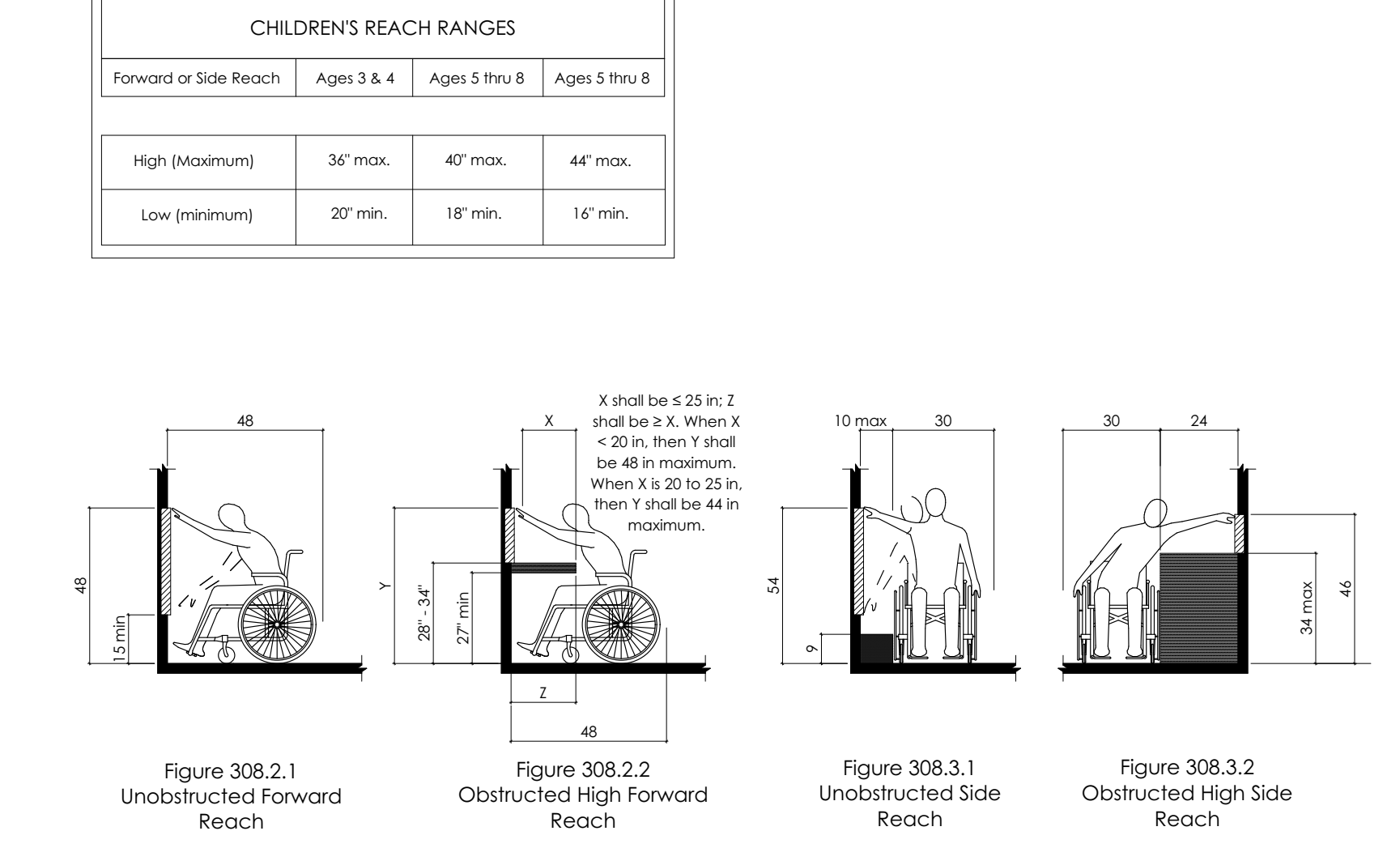
306 KNEE AND TOE CLEARANCE



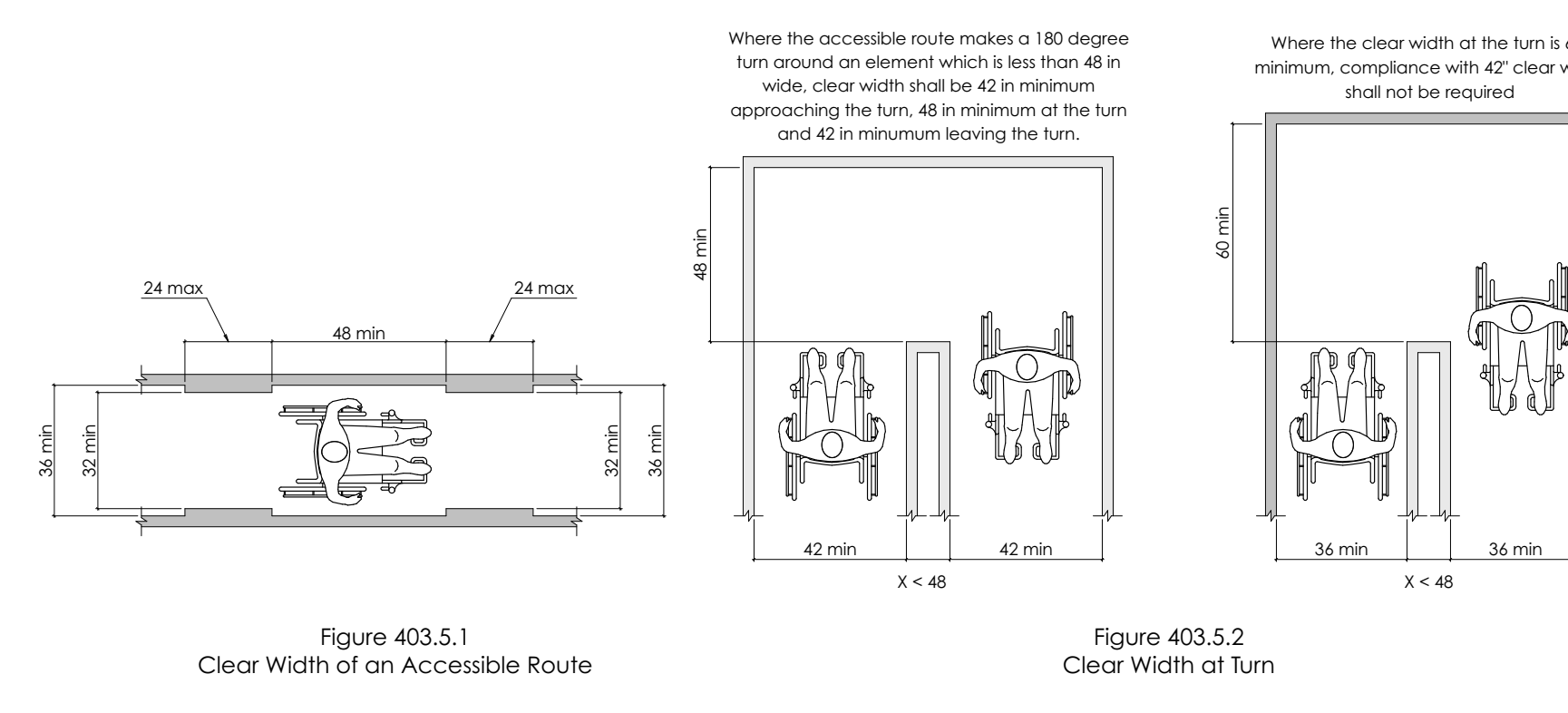
307 PROTRUDING OBJECTS



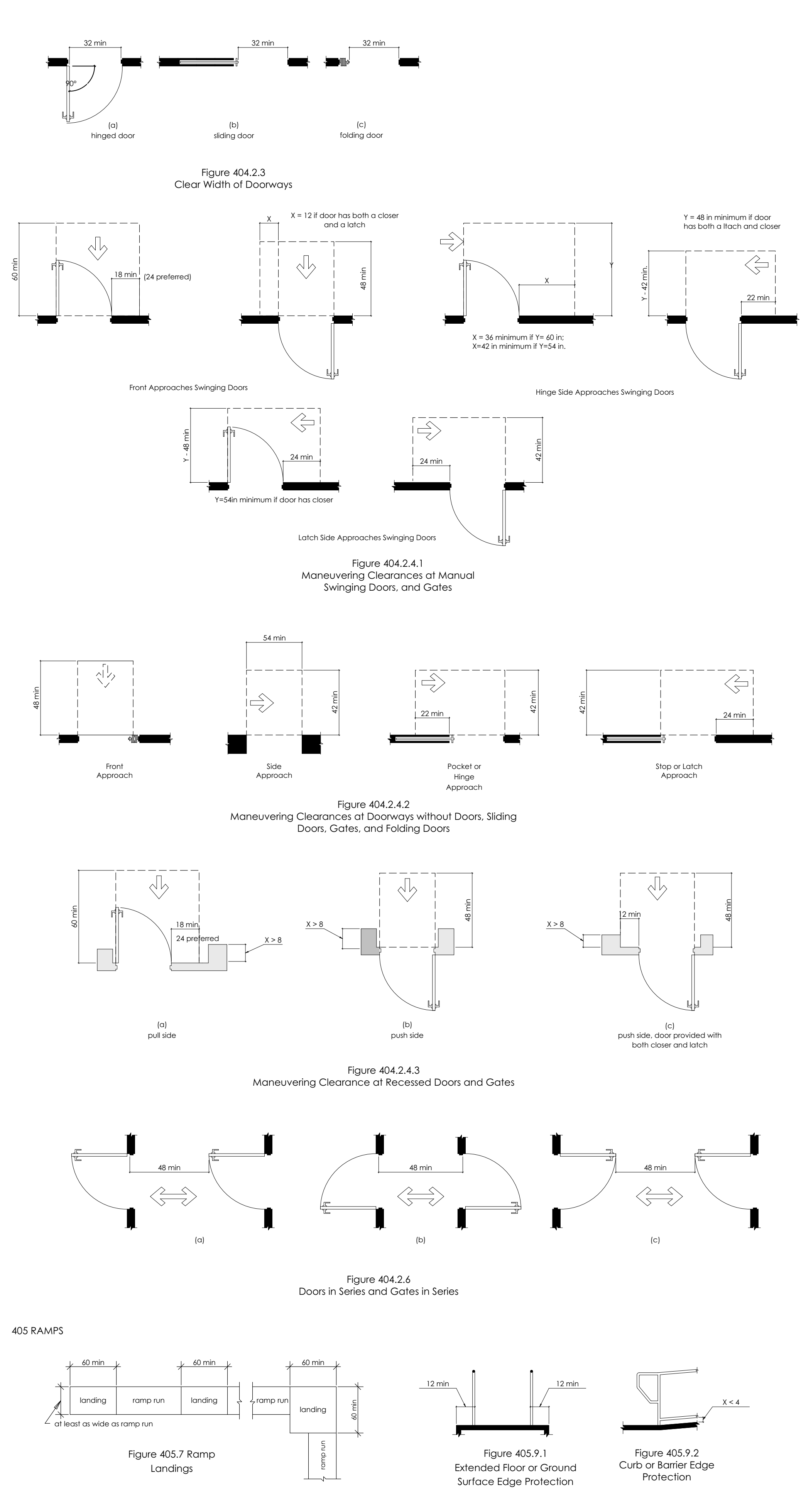
308 REACH RANGES



403 WALKING SURFACES



404 DOORS, DOORWAYS, AND GATES





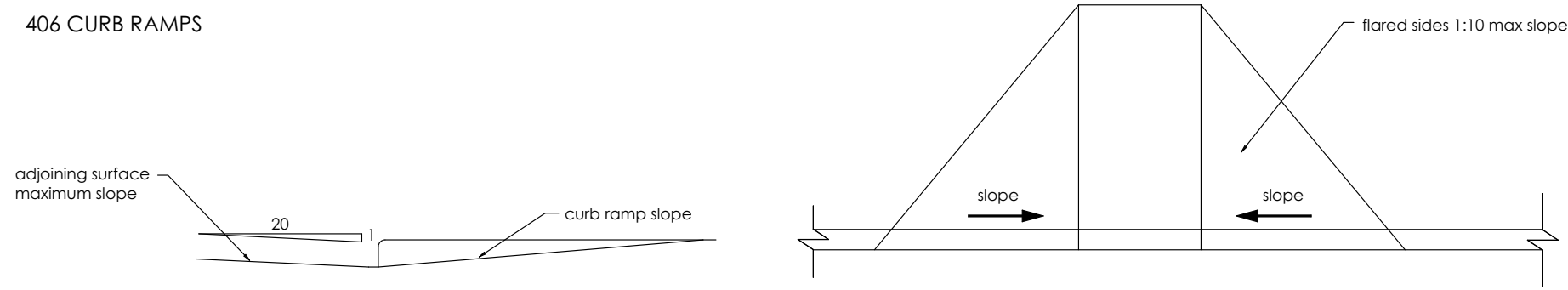


Figure 406.2 Counter Slope of Surfaces Adjacent to Curb Ramps

Figure 406.3 Sides of Curb Ramps

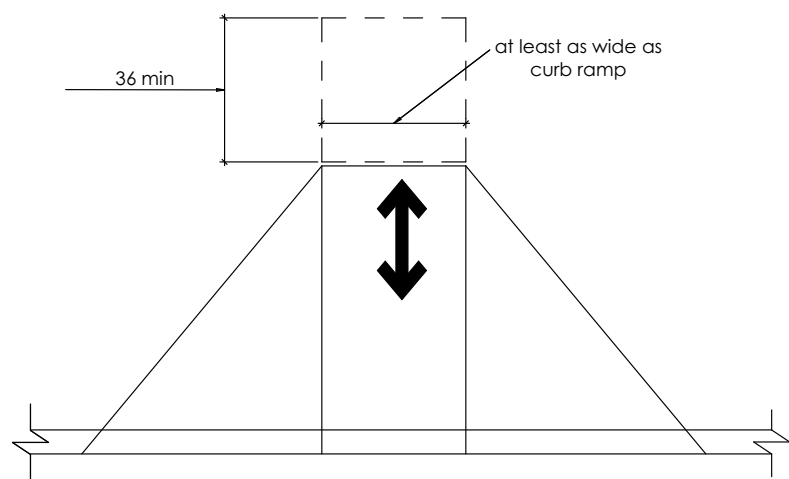


Figure 406.4 Landings at the Top of Curb Ramps

407 ELEVATORS

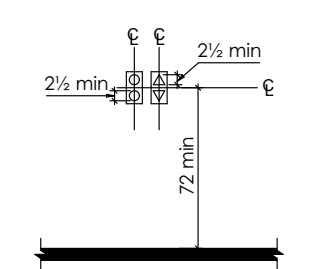


Figure 407.2.2.2 Visible Hall Signals

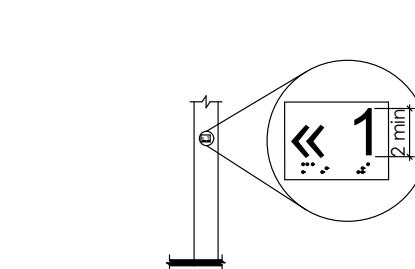


Figure 407.2.3.1 Floor Designations on Jamb of Elevator Hoistway Entrances

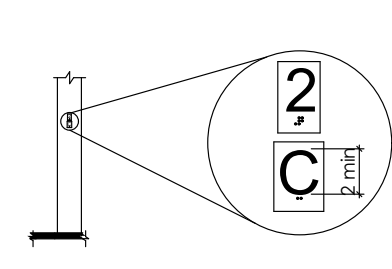


Figure 407.2.3.2 Car Designations on Jamb of Destination-Oriented Elevator Hoistway Entrances

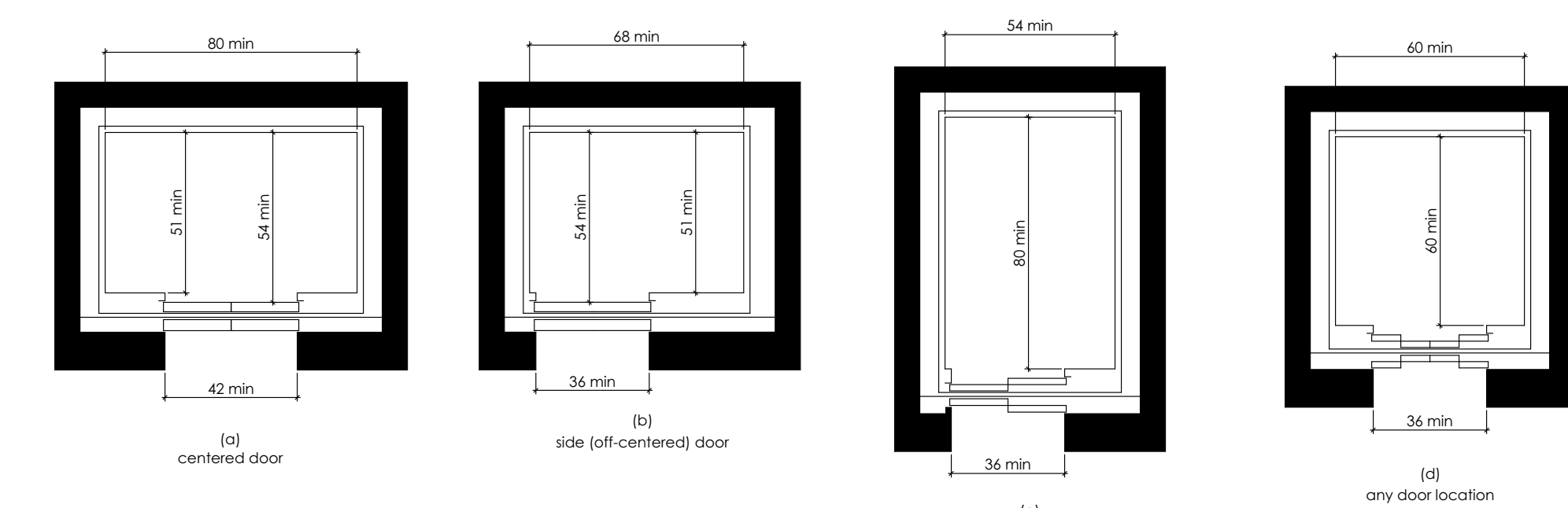


Figure 407.4.1 Elevator Car Dimensions

502 PARKING SPACES

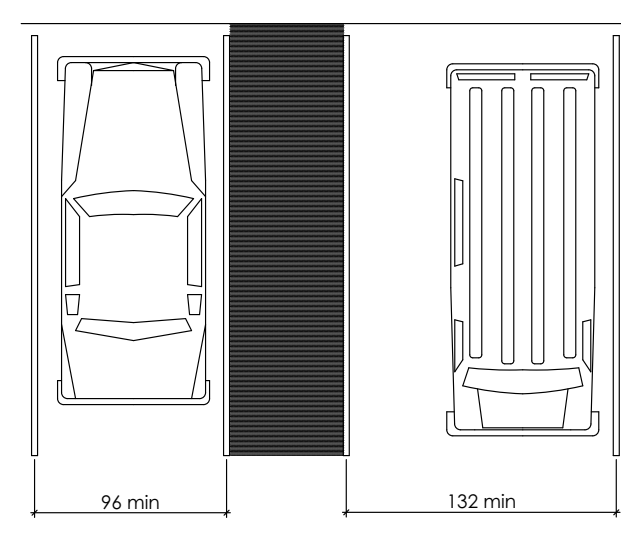


Figure 502.2 Vehicle Parking Spaces

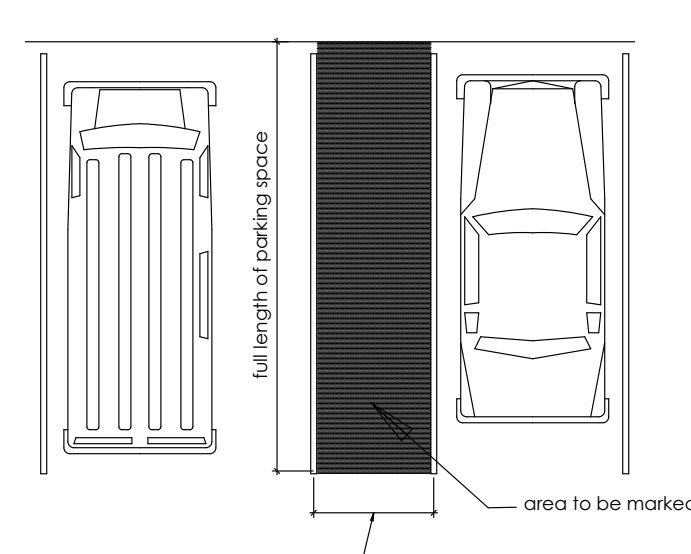


Figure 502.3 Parking Space Access Aisle

503 PASSENGER LOADING ZONES

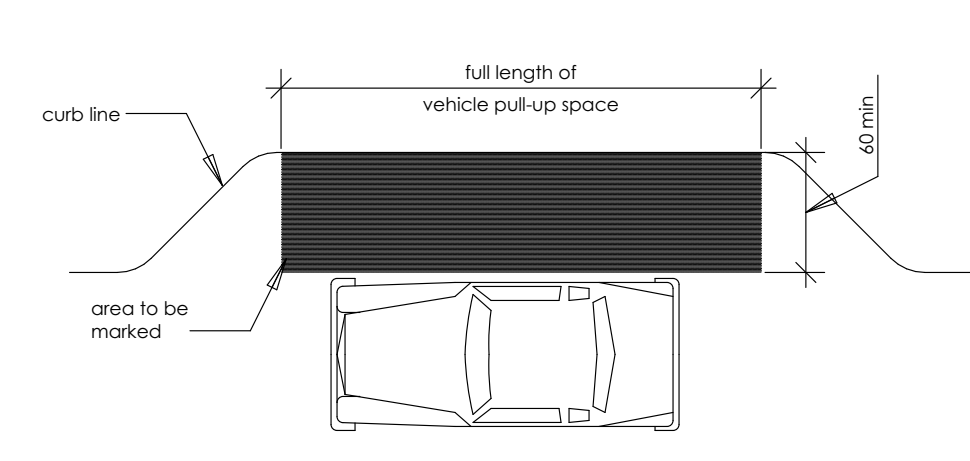


Figure 503.3 Passenger Loading Zone Access Aisle

504 STAIRWAYS

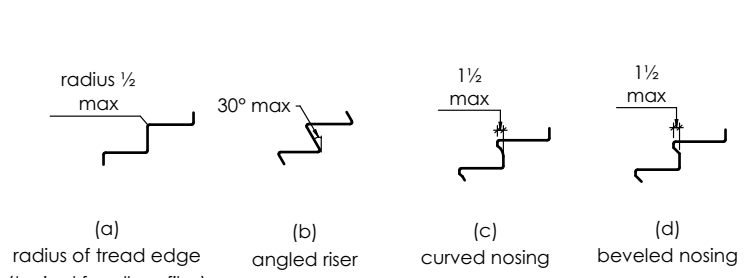


Figure 504.5 Stair Nosings

505 HANDRAILS

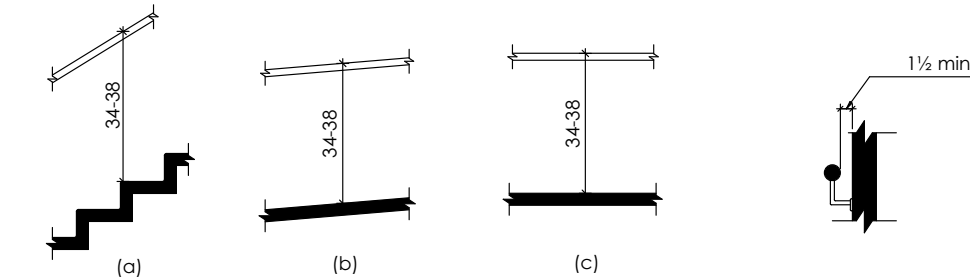


Figure 505.4 Handrail Height

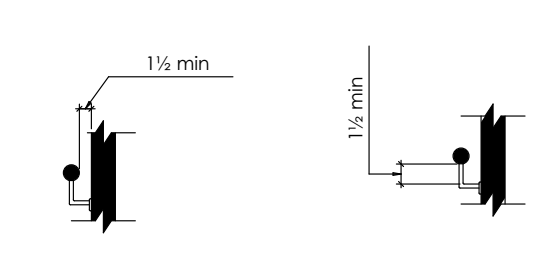


Figure 505.5 Handrail Clearance

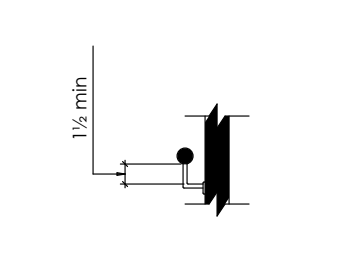


Figure 505.6 Horizontal Projections Below Gripping Surface

505 HANDRAILS

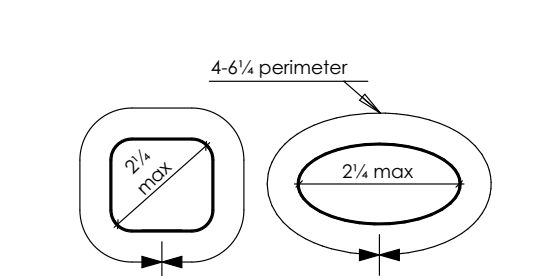


Figure 505.7.2 Handrail Non-Circular Cross Section

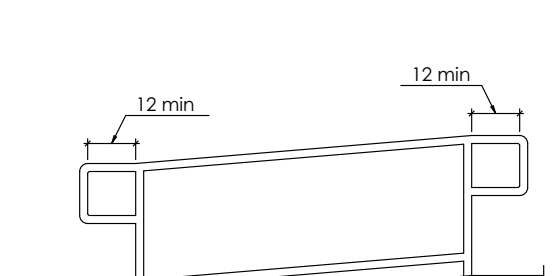


Figure 505.10.1 Top and Bottom Handrail Extension at Ramps

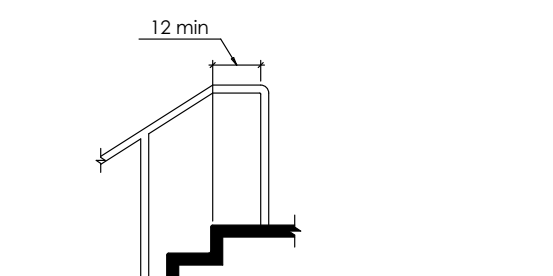


Figure 505.10.2 Top Handrail Extension at Stairs

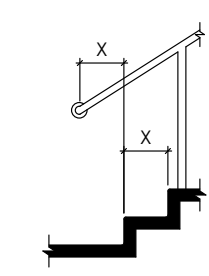


Figure 505.10.3 Bottom Handrail Extension at Stairs

602 DRINKING FOUNTAINS

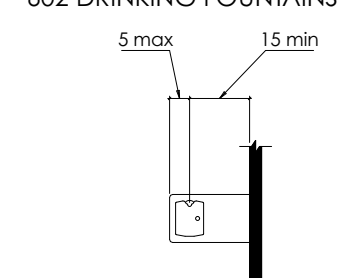


Figure 602.5 Drinking Fountain Spout Location

604 WATER CLOSETS AND TOILET COMPARTMENTS

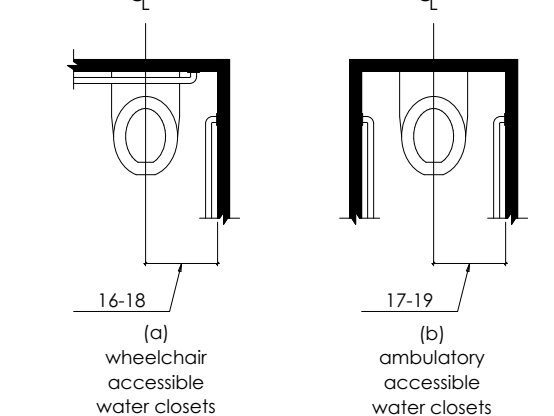


Figure 604.2 Water Closet Location

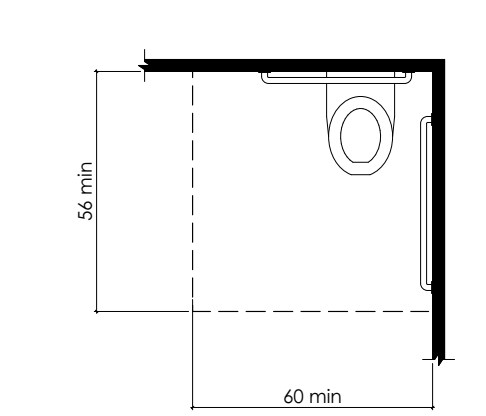


Figure 604.3.1 Size of Clearance of Water Closets

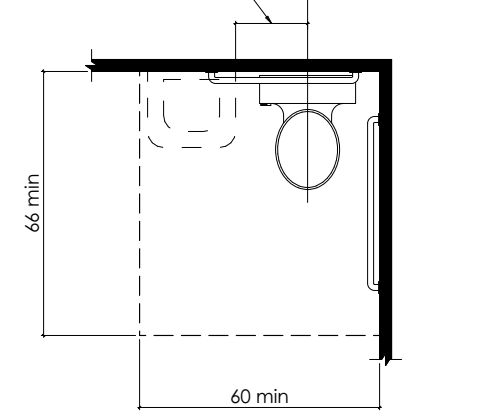


Figure 604.3.2 (Exception) Overlap of Water Closet Clearance in Residential Dwelling Units

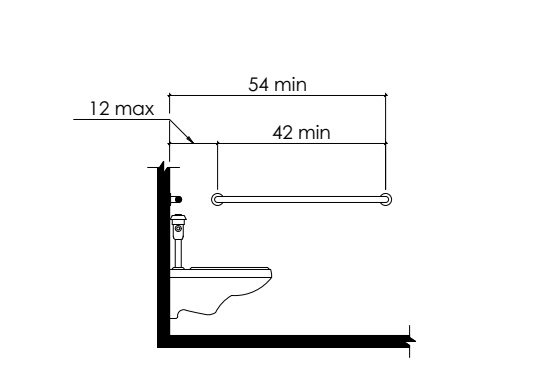


Figure 604.5.1 Side Wall Grab Bar at Water Closets

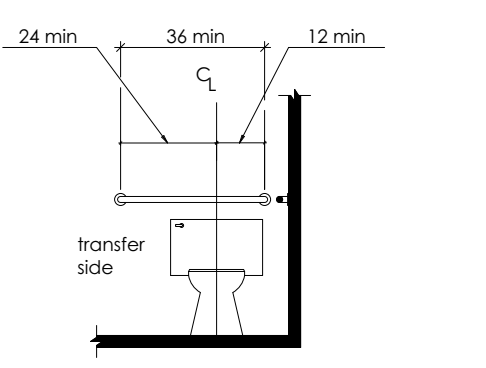


Figure 604.5.2 Rear Wall Grab Bar at Water Closets

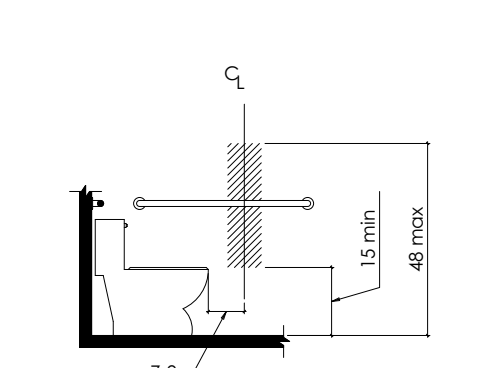


Figure 604.7 Dispenser Outlet Location

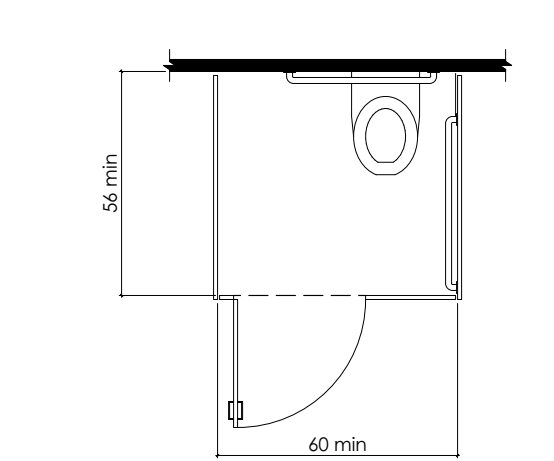


Figure 604.8.1.1 Size of Wheelchair Accessible Toilet Compartment

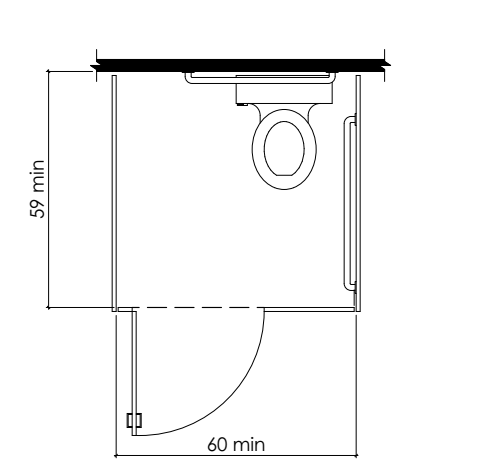


Figure 604.8.1.2 Wheelchair Accessible Toilet Compartment Doors

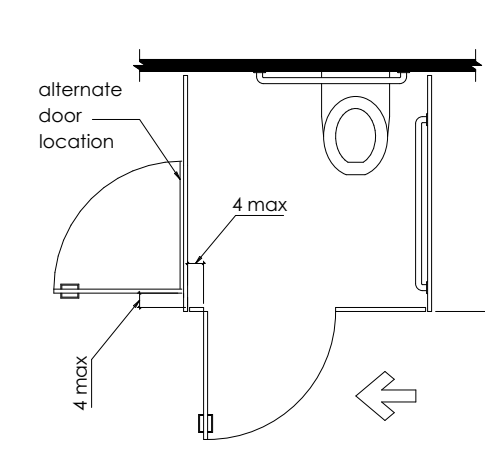


Figure 604.8.1.2 Wheelchair Accessible Toilet Compartment Doors

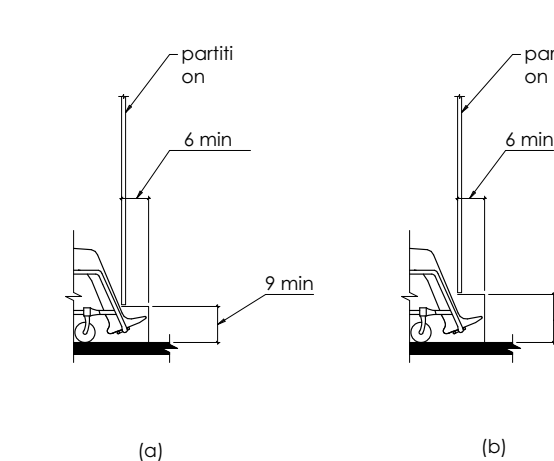


Figure 604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance

605 URINALS

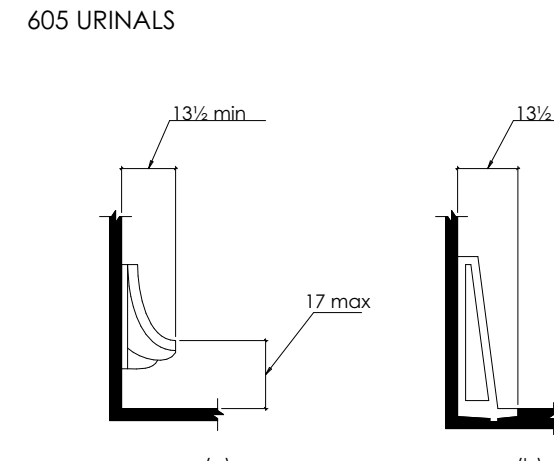


Figure 605.2 Height and Depth of Urinals

607 BATHTUBS

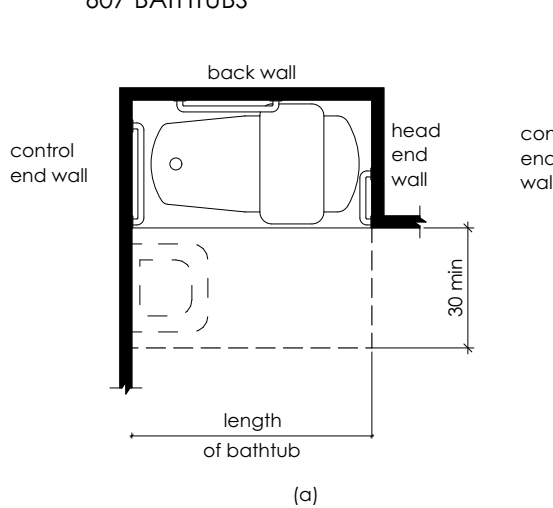


Figure 607.2 Clearance for Bathtubs

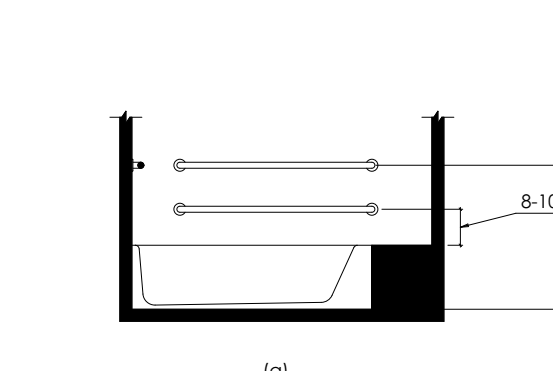


Figure 607.4.1 Grab Bars for Bathtubs

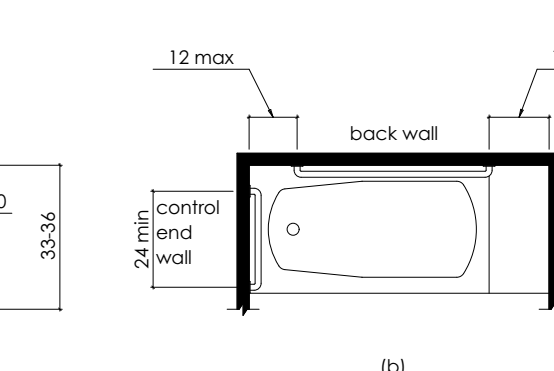


Figure 607.5 Bathtub Control Location

608 SHOWER COMPARTMENTS

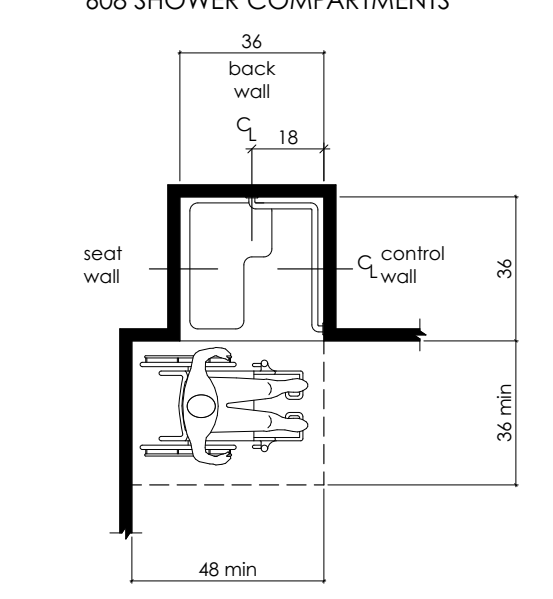


Figure 608.2.1 Transfer Type Shower Compartment Size and Clearance

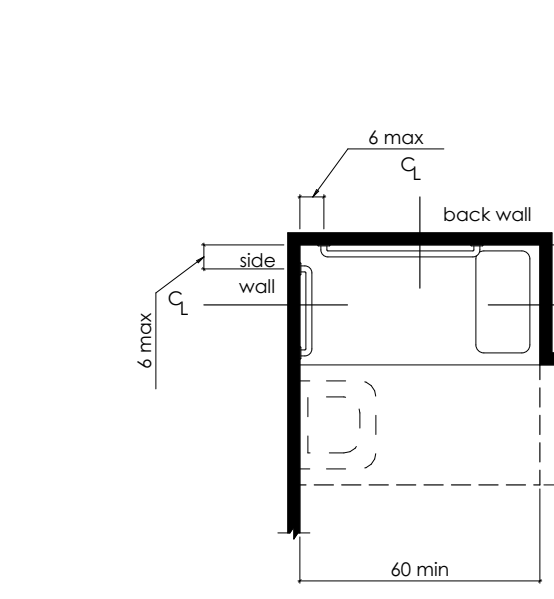


Figure 608.2.2 Standard Roll-In Type Shower Compartment Size and Clearance

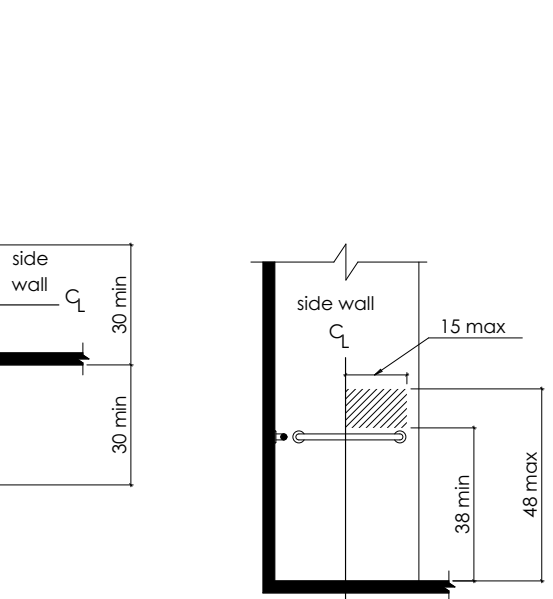


Figure 608.5.1 Transfer-Type Shower Compartment Control Location

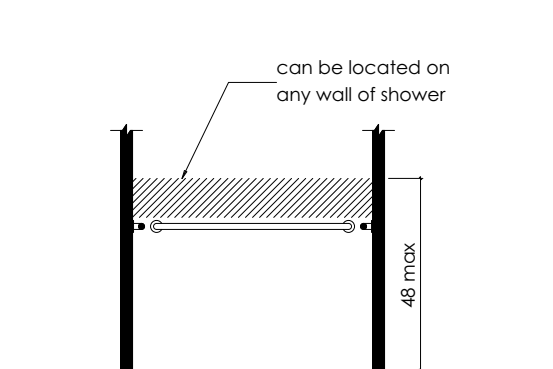


Figure 608.5.2 Standard Roll-In Type Shower Compartment Control Location

609 GRAB BARS

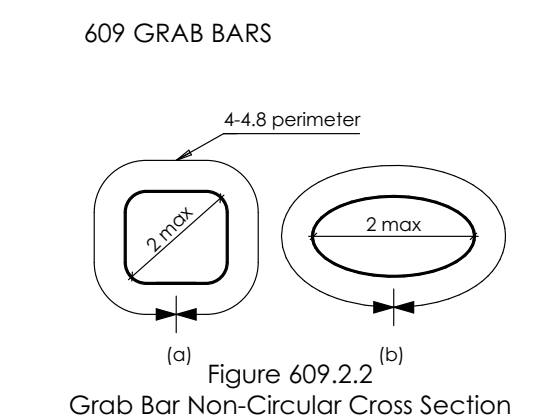


Figure 609.2.2 Grab Bar Non-Circular Cross Section

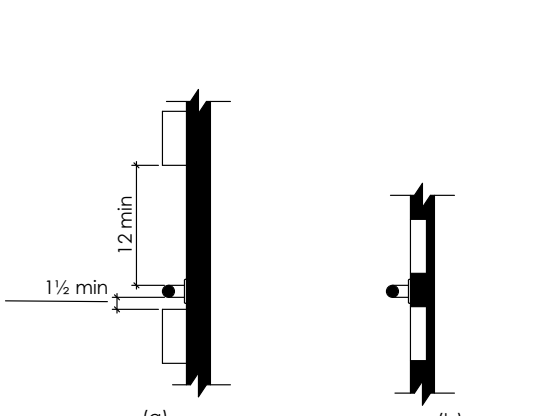


Figure 609.3 Spacing of Grab Bars

610 SEATS

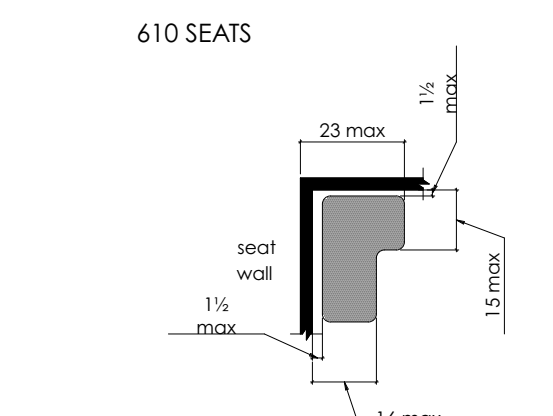


Figure 610.3.2 L-Shaped Shower Seat

703 SIGNS

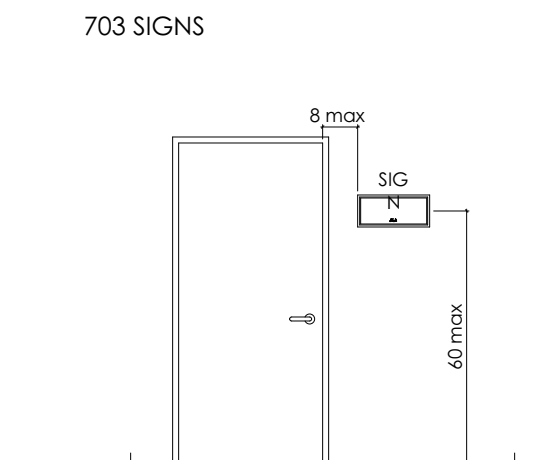


Figure 703.4.1 Height of Tactile Characters Above Floor or Ground

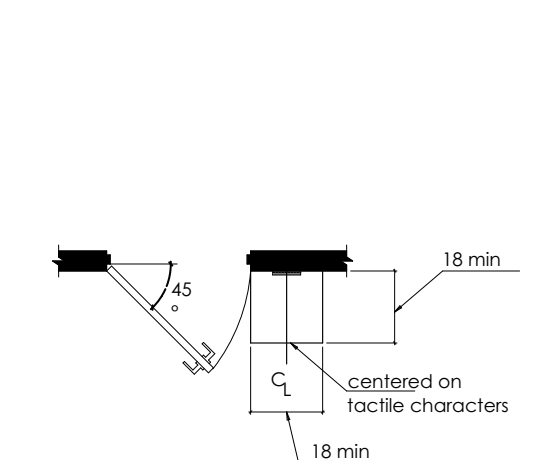


Figure 703.4.2 Location of Tactile Signs at Doors

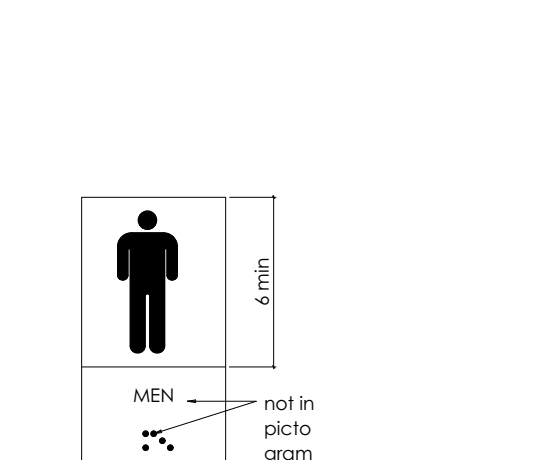
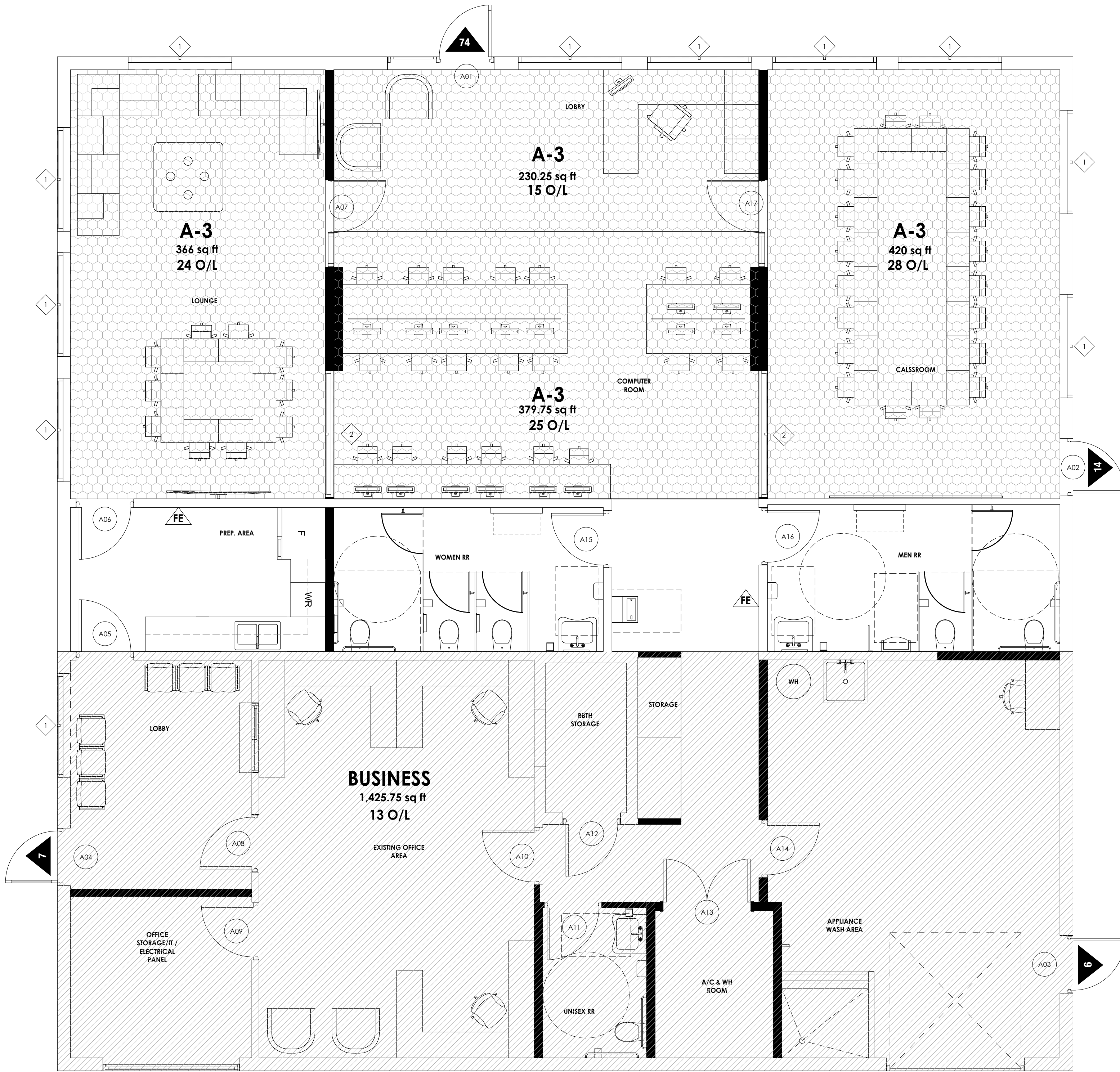


Figure 703.6.1 Pictogram Field





**1 CODE REVIEW PLAN**  
SCALE: 1/4" = 1'-0"

**APPLICABLE CODES**

- INTERNATIONAL BUILDING CODE (2012 EDITION)
- INTERNATIONAL MECHANICAL CODE (2012 EDITION)
- INTERNATIONAL PLUMBING CODE (2012 EDITION)
- INTERNATIONAL ENERGY CONSERVATION CODE (2015 EDITION)
- NATIONAL ELECTRICAL CODE (2011 EDITION)
- INTERNATIONAL FIRE CODE (2012 EDITION)
- TEXAS ACCESSIBILITY STANDARDS (2012 EDITION)

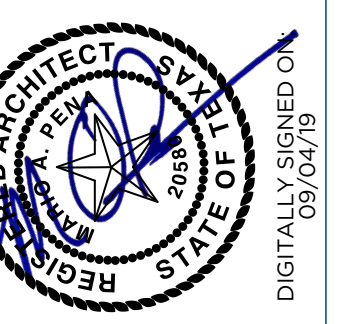
CODE LOCATION	DESCRIPTION	RESULTS	COMMENTS
SECTION 304	OCCUPANCY TYPE	BUSINESS GROUP B ASSEMBLY GROUP A-3	
TABLE 601	CONSTRUCTION TYPE REQUIREMENTS FOR BLDG.	VB	
	STRUCTURAL FRAME	0 HR	
	BEARING WALLS	0 HR	
	NON-BEARING WALLS	0 HR	
	FLOOR CONSTRUCTION	0 HR	
	ROOF CONSTRUCTION	0 HR	
TABLE 503	HEIGHTS	1 STORY (40'HT)/6,000SF.	
SECTION 506	TOTAL NET SQUARE FOOTAGE:	2,713	
CITY FIRE CODE AMENDMENT	BUILDING TO BE SPRINKLED	NOT REQUIRED	
TABLE 1018.1	CORRIDOR WALL SEPERATION	1 HRS	
TABLE 509	SEPERATION	NOT REQUIRED	
SECTION 907.2.3	FIRE ALARM	NO	
SECTION 1005.3.1	STAIRWAYS WIDTH	0.3 (NOT SPRINKLERED)	
SECTION 1005.3.2	EGRESS WIDTH	0.2 (NOT SPRINKLERED)	
TABLE 906.3	FIRE EXTINGUISHERS	1 PER 75 LNFT & 11,250 S.F.	
TABLE 1004.1.2	OCCUPANCY LOAD	BUSINESS GROUP B: 14 ASSEMBLY GROUP A-3: 88	RE: OCC. CALCS.
	TOTAL	102	
TABLE 2902.1	PLUMBING FIXTURESS		
	W.C.	GROUP B MALE: 7 OCC. @ 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER GROUP A-3 MALE: 44 OCC. @ 1 PER 125 TOTAL REQUIRED: 1	
		GROUP B FEMALE: 7 OCC. @ 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER GROUP A-3 FEMALE: 44 OCC. @ 1 PER 125 TOTAL REQUIRED: 1	
	LAV.	GROUP B MALE: 7 OCC. @ 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER GROUP A-3 MALE: 44 OCC. @ 1 PER 200 TOTAL REQUIRED: 1	
		GROUP B FEMALE: 7 OCC. @ 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER GROUP A-3 FEMALE: 44 OCC. @ 1 PER 200 TOTAL REQUIRED: 1	
	FOUNTAINS	GROUP B: 14 @ 1 PER 100 GROUP A-3: 88 @ 1 PER 500 TOTAL REQUIRED: 1 OFFICE TO PROVIDE WATER DISPENSER	
SECTION 2902.5	DRINKING FOUNTAINS	500'	
SECTION 2902.3.2	TRAVEL DISTANCE FOR RR	500'	
TABLE 1014.2	TRAVEL	75'	GROUP A-3
TABLE 1015.1	SPACES WITH ONE EXIT	49 MAX OCCUPANT LOAD	GROUP A-3
TABLE 1016.2	EXIT ACCESS TRAVEL DISTANCE	200'	
SECTION 1018.4	DEAD END CORRIDOR MAX	20'	

**PLAN LEGEND**

- 1HR FIRE RATED WALL TO DECK
- 2HR FIRE RATED WALL TO DECK
- ▲ EGRESS EXIT  
W/OCCUPANT LOAD  
CAPACITY: .2 X OPENING WIDTH  
AS PER SECTION 1005.3.2
- FE FIRE EXTINGUISHER  
SHALL BE TYPE 2A:10BC

**CODE REVIEW LEGED AND SUMMERY**

ID	AREA	FILL TYPE
C-ASSEMBLY GROUP A-3	1,396.13	[Pattern]
C-BUSINESS GROUP B	1,425.70	[Pattern]



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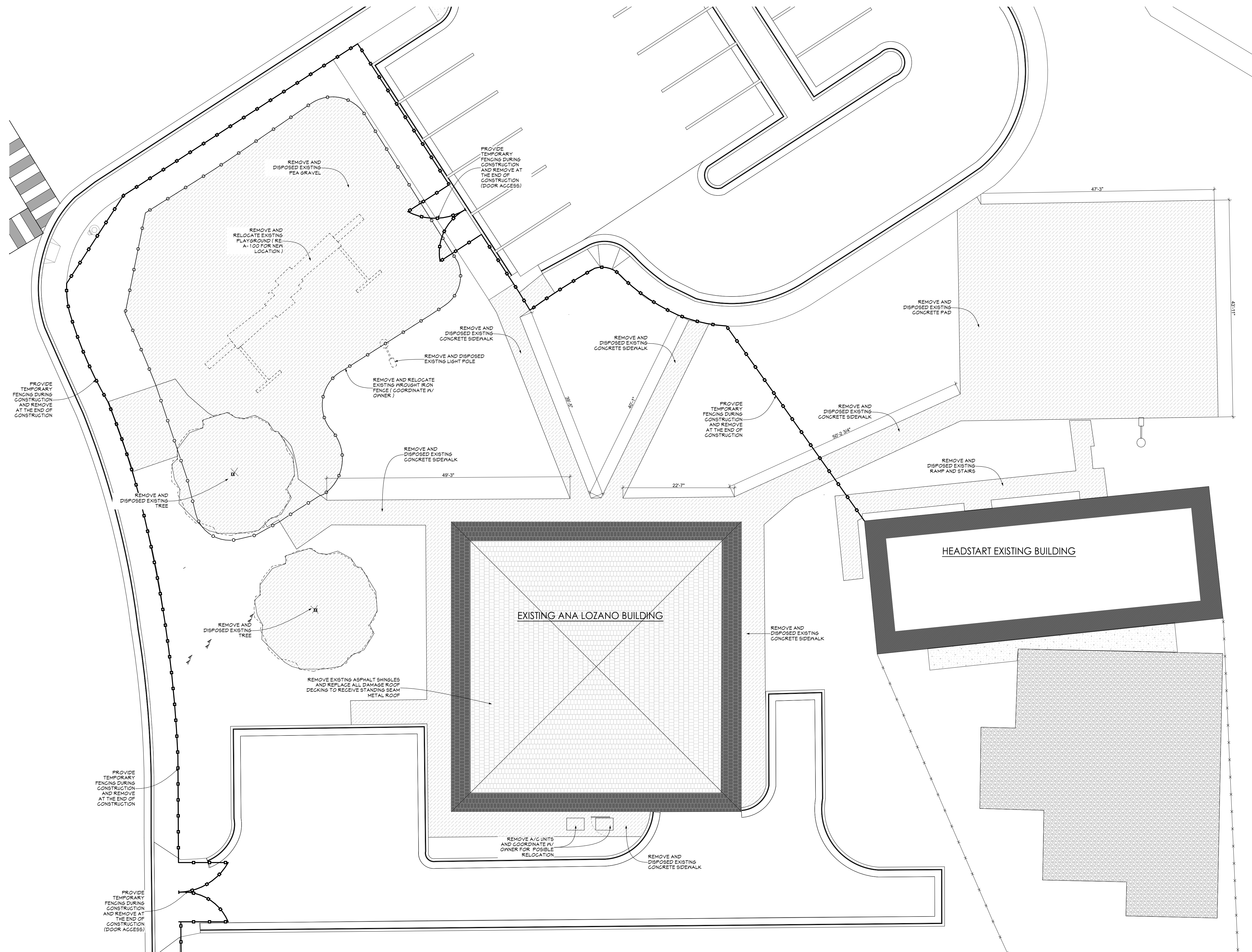
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SHEET NO.:

**A-003**

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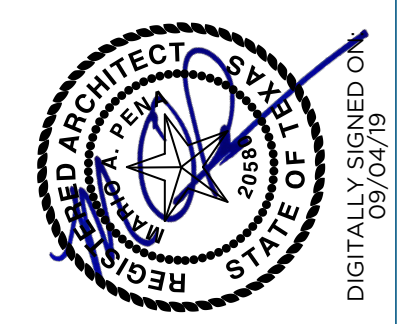




**DEMOLITION NOTES:**

1. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
2. PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE. COVER ALL FLOORING TO REMAIN AND PROTECT ALL EXISTING ITEMS AND FINISHES NOT SCHEDULED FOR DEMOLITION. MATERIALS AND ITEMS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE EXISTING ITEMS OR MATERIALS TO REMAIN.
3. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AS INDICATED.
4. ALL DEBRIS AND DEMOLISHED MATERIALS TO BE REMOVED AND DISPOSED AT THE END OF EACH WORKING DAY. DISPOSE ALL ITEMS ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS, AND REGULATIONS.
5. COORDINATE WITH OWNER FOR SEGREGATION OF ALL IMPACTED AREAS DURING ALL DEMOLITION AND CONSTRUCTION PHASES. COORDINATE WITH OWNER FOR LOCATION AND SEGREGATION.
6. IF CONTRACTOR UNCOVERS ANYTHING THAT WILL IMPACT THE COST OF CONSTRUCTION AND/OR SCOPE OF WORK, HE/SHE SHALL NOTIFY THE OWNER IMMEDIATELY AND PRIOR TO THE EXECUTION OF ANY ADDITIONAL WORK. FAILURE TO DO SO DEEMS THE CONTRACTOR RESPONSIBLE FOR THE COST OF SUCH WORK. IN THE EVENT THAT HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT. THE OWNER SHALL BE RESPONSIBLE FOR GETTING THESE MATERIALS PROPERLY AND SAFELY ABATED.
7. TRIM ENCRoACHING EXISTING TREE BRANCHES TO PROTECT TREE & TO ACHIEVE NEW CONSTRUCTION.
8. CONTRACTOR TO REPAIR ALL EXISTING WALLS TO REMAIN.
9. VERIFY EXISTING LOCATIONS OF ALL UTILITIES PRIOR TO PROCEEDING WITH THE WORK AND RELOCATE EXISTING UTILITIES THAT WILL INTERFERE WITH THE NEW CONSTRUCTION.
10. CONTRACTOR SHALL VISIT PROJECT SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO BIDDING.
11. THE OWNER HAS THE FIRST RIGHT OF SALVAGE TO FIXTURES, EQUIPMENT AND BUILDING SYSTEMS MATERIALS. REMOVED AS PART OF THE DEMOLITION WORK PRIOR TO BEGINNING DEMOLITION, REQUEST THE OWNER TO PROVIDE A WRITTEN LIST OF ITEMS TO BE SALVAGED FOR THE OWNER. CAREFULLY REMOVE THESE ITEMS, AND STOCK PILE THEM ON A SITE FOR OWNER.
12. GENERAL CONTRACTOR, AND SUBCONTRACTORS ARE TO SCHEDULE AND COMPLETE THEIR WORK SO AS TO KEEP MECHANICAL, ELECTRICAL, TELEPHONE, DATA, HVAC CONTROLS, INTERCOMS, AND OTHER EXISTING SYSTEMS OPERATIONAL IN AREAS.
13. ALL ITEMS NOTED TO BE REUSED SHALL BE INSPECTED AND CONDITION APPROVED FOR REUSE BY OWNER AND ARCHITECT. CONTRACTOR TO REPLACE ANY ITEMS NOT APPROVED FOR REUSE.
14. WHERE EXISTING SURFACES ARE TO BE REMOVED OR REPLACED, SURFACES SHALL BE STRIPPED CLEAN OR EXISTING FINISHES AND MADE READY TO RECEIVE NEW FINISHES.
15. ALL UNSALVAGEABLE MATERIAL DEVELOPED DUE TO THE DEMOLITION SHALL BECOME THE PROPERTY OF THE DEMOLITION CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
16. THE CONTRACTOR IS RESPONSIBLE FOR STORING ALL USABLE MATERIALS FOR OWNER'S REVIEW.
17. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH AND/OR SEQUENCE OF CONSTRUCTION AND WITH THE REQUIREMENTS OF CONTRACT SPECIFICATIONS.
18. GENERAL CONTRACTOR IS REQUIRED TO REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
19. ALL DEMOLITION AND OTHER WORK AT EXISTING IMPROVEMENTS SHALL BE PERFORMED ACCORDING TO THE ASBESTOS ABATEMENT REPORT RECOMMENDATIONS.
20. COORDINATE DEMOLITION WITH ARCHITECT AND OWNER'S REPRESENTATIVE.
21. PROVIDE TEMPORARY SUPPORT OF EXISTING MATERIALS, AND SYSTEMS TO REMAIN IN ORDER TO MAINTAIN THE FUNCTIONAL USE OF THE PROJECT DURING DEMOLITION.
22. DO NOT CUT OR ALTER OPENINGS INTO EXISTING WALLS, FOOTING, OR DECK MATERIALS WITH OUT THE PROPER SHORING, BRACING OR SUPPORTS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE PROJECT. REVIEW MAJOR DEMOLITION WORK WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING WORK.
23. IN THE EVENT THAT HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT. THE OWNER SHALL BE RESPONSIBLE FOR GETTING THESE MATERIALS PROPERLY AND SAFELY ABATED.
24. WHERE EXISTING COLUMNS, WALL, AND FLOOR AND CEILING ARE TO BE REMOVED OR REPLACED, SURFACES SHALL BE STRIPPED CLEAN OF EXISTING FINISHES AND MADE READY TO RECEIVE NEW FINISHES.
25. WHERE EXISTING DOORS OPENINGS ARE TO BE FILLED, REMOVE FRAME AND PATCH WALL WITH SAME MATERIAL AND EXISTING WALLS SHALL BE ALIGN, UNLESS OTHERWISE NOTED.
26. REMOVE MECHANICAL, ELECTRICAL, COMMUNICATION EQUIPMENT THAT ARE EXPOSED AT THE COMPLETION OF THE DEMOLITION PROCESS AND ARE NOT SCHEDULE FOR REUSE.
27. REMOVE ELECTRICAL, TELEPHONE AND DATA CABLE, CONDUIT, & BOXES BACK TO THE MAIN PANEL OR JUNCTION BOX. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO REMOVAL.
28. BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
  - 1.1 OBTAIN ALL BUILDING & CONSTRUCTION PERMITS AS REQUIRED BY THE PERTINENT LOCAL REGULATORY & GOVERNMENTAL AGENCIES.
  - 1.2 VERIFY LOCATIONS, ELEVATIONS & DIMENSIONS OF EXISTING UTILITIES, STRUCTURES & OTHER IMPROVEMENTS AFFECTING HIS WORK & PROTECT SAME WHERE NECESSARY.
29. REMOVE ALL EQUIPMENT AND FURNISHING AND RETURN TO THE OWNER.
30. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND MATERIALS FROM SITE. REMOVE PROTECTIONS AN LEAVE INTERIOR AREA BROOM CLEAN.
31. RELOCATE HVAC & DUCTWORK. COORDINATE NEW LOCATION W/ ARCHITECT.
32. REMOVE EXISTING LIGHT FIXTURES. COORDINATE NEW LOCATION W/ ARCHITECT.
33. REMOVE GYPSUM BOARD CEILING. COORDINATE AREA OF REMOVAL W/ ARCHITECT PRIOR TO WORK.

**1 SITE PLAN DEMOLITION**  
SCALE: 1" = 10'



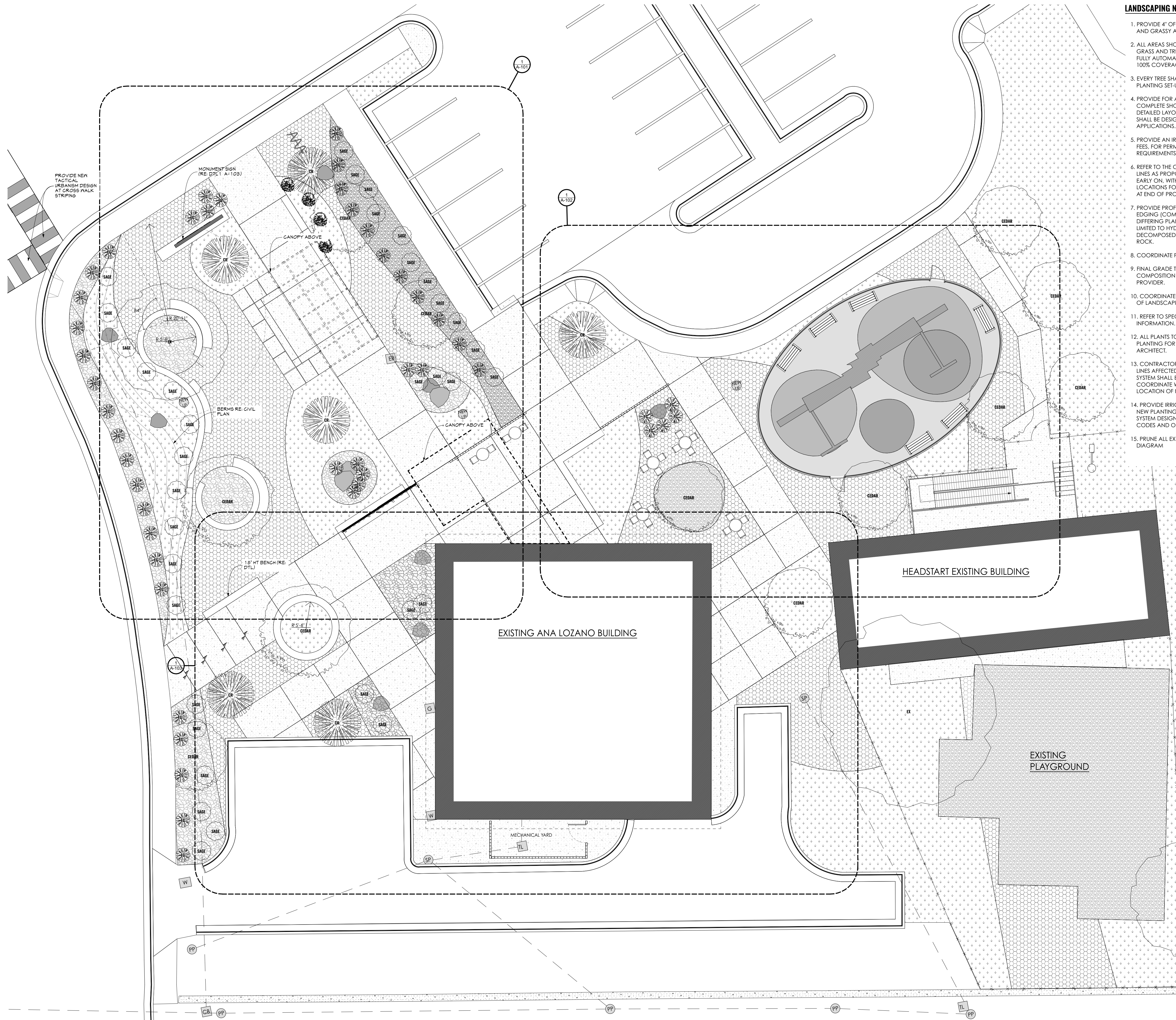
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**SITE PLAN DEMOLITION**  
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**LANDSCAPING NOTES**

1. PROVIDE 4" OF TOPSOIL AT ALL PLANTERS, ISLANDS, AND GRASSY AREAS. RE: SPEC
2. ALL AREAS SHOWN FOR HYDRO-SEED BERMUDA GRASS AND TREES SHALL HAVE A LICENSED DESIGNED FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE.
3. EVERY TREE SHALL HAVE BUBBLER WITH PROPER PLANTING SET-UP AS PER DRAWINGS.
4. PROVIDE FOR ARCHITECT'S REVIEW AND APPROVAL. COMPLETE SHOP DRAWINGS, CUT SHEETS AND DETAILED LAYOUT OF PROPOSED LINE SYSTEM. SYSTEM SHALL BE DESIGNED FOR COMMERCIAL APPLICATIONS.
5. PROVIDE AN IRRIGATION WATER METER AND PAY ALL FEES, FOR PERMIT, METERS AND DEMAND AS PER CITY REQUIREMENTS.
6. REFER TO THE CIVIL DRAWINGS FOR NEW SERVICE LINES AS PROPOSED FOR PROJECT. COORDINATE EARLY ON, WITH UTILITY CONTRACTOR FOR PROPOSED LOCATIONS FOR TAPS TO ALLOW EASY CONNECTIONS AT END OF PROJECT.
7. PROVIDE PROFESSIONAL LANDSCAPING PLASTIC EDGING (COMMERCIAL GRADE) @ EDGES OF DIFFERING PLANTING MATERIALS, INCLUDING BUT NOT LIMITED TO HYDRO-SEED BERMUDA GRASS, DECOMPOSED GRANITE, CONCRETE, AND RIVER ROCK.
8. COORDINATE PLANTER LOCATIONS WITH ARCHITECT.
9. FINAL GRADE TO BE FREE OF DEBRIS AND HAVE A SOIL COMPOSITION AS RECOMMENDED BY HYDRO-SEED PROVIDER.
10. COORDINATE W/ ARCHITECT FOR FINAL LOCATION OF LANDSCAPING LIGHTS.
11. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
12. ALL PLANTS TO BE PRESENTED ON SITE PRIOR TO PLANTING FOR FINAL LOCATION APPROVAL BY ARCHITECT.
13. CONTRACTOR TO SEGREGATE ALL SPRINKLER SYSTEM LINES AFFECTED BY CONSTRUCTION. NEW SPRINKLER SYSTEM SHALL BE INTEGRATED WITH EXISTING SYSTEM. COORDINATE WITH OWNER AND ARCHITECT FOR LOCATION OF NEW CONTROLLERS.
14. PROVIDE IRRIGATION SYSTEM (EXTENSION) FOR ALL NEW PLANTING FOUND NONE IN. FURNISH PROVIDE SYSTEM DESIGN COMPLIANT OF ALL APPLICABLE CODES AND ORDINANCES.
15. PRUNE ALL EXISTING TREES UP TO 8' HEIGHT. RE: DIAGRAM

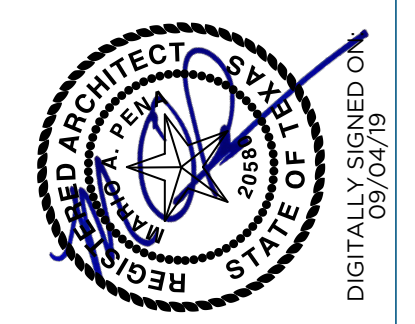
**SITE PLAN LEGEND**

- EXISTING CONCRETE SIDEWALK
- CONCRETE SIDEWALK 4" DEEP MIN.
- BERMUDA SOG OVER 4" TOP SOIL FREE OF DEBRIS THROUGHOUT AREAS SHOWN
- DECOMPOSED GRANITE 4" COMPACTED LAYER OVER "GEO-FABRIC" WEED PREVENTING FABRIC WITH COMMERCIAL-GRADE STEEL EDGING ALL AROUND
- RIVER ROCK 4" LAYER 1" TO 2" MAX. RANDOM RIVER ROCK SIZE. "GEO-FABRIC" WEED PREVENTING FABRIC WITH COMMERCIAL-GRADE STEEL EDGING ALL AROUND.
- BLACK MULCH 4" LAYER "GEO-FABRIC" WEED PREVENTING FABRIC WITH COMMERCIAL-GRADE STEEL EDGING ALL AROUND.
- POURED IN PLACE RUBBER SAFETY SURFACE, COLOR 3
- POURED IN PLACE RUBBER SAFETY SURFACE, COLOR 2
- POURED IN PLACE RUBBER SAFETY SURFACE, COLOR 1
- CHAINLINK FENCE
- WROUGHT IRON FENCE

**LANDSCAPING SCHEDULE**

ID	SYMBOL	NAME	DESCRIPTION	QTY
CEDAR		CEDAR ELM	6' HEIGHT MIN ABOVE GROUND, 4" TREE CALIPER	12
CR		CREPE MYRTLE	6' HEIGHT MIN ABOVE GROUND, MULTI TRUNK. COLORS CAN BE: CANDY-PINK, MEDIUM PINK, PURPLE AND/OR CHERRY-RED.	4
EX		EXISTING TREES		
FG		WHITE FOUNTAIN GRASS	5 GAL. MIN. 3" SPRD	46
RED		RED YUCCA	5 GAL. MIN. 3" SPRD	4
SAGE		TEXAS PURPLE SAGE (CENIZO)	7 GAL. MIN. 4"-5" SPRD	35
DS		DECORATIVE STONE	4' X 3' MIN.	7

**1 SITE PLAN EXHIBIT**  
SCALE: 1" = 10'



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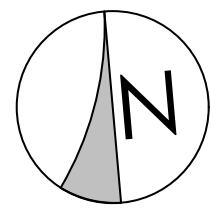
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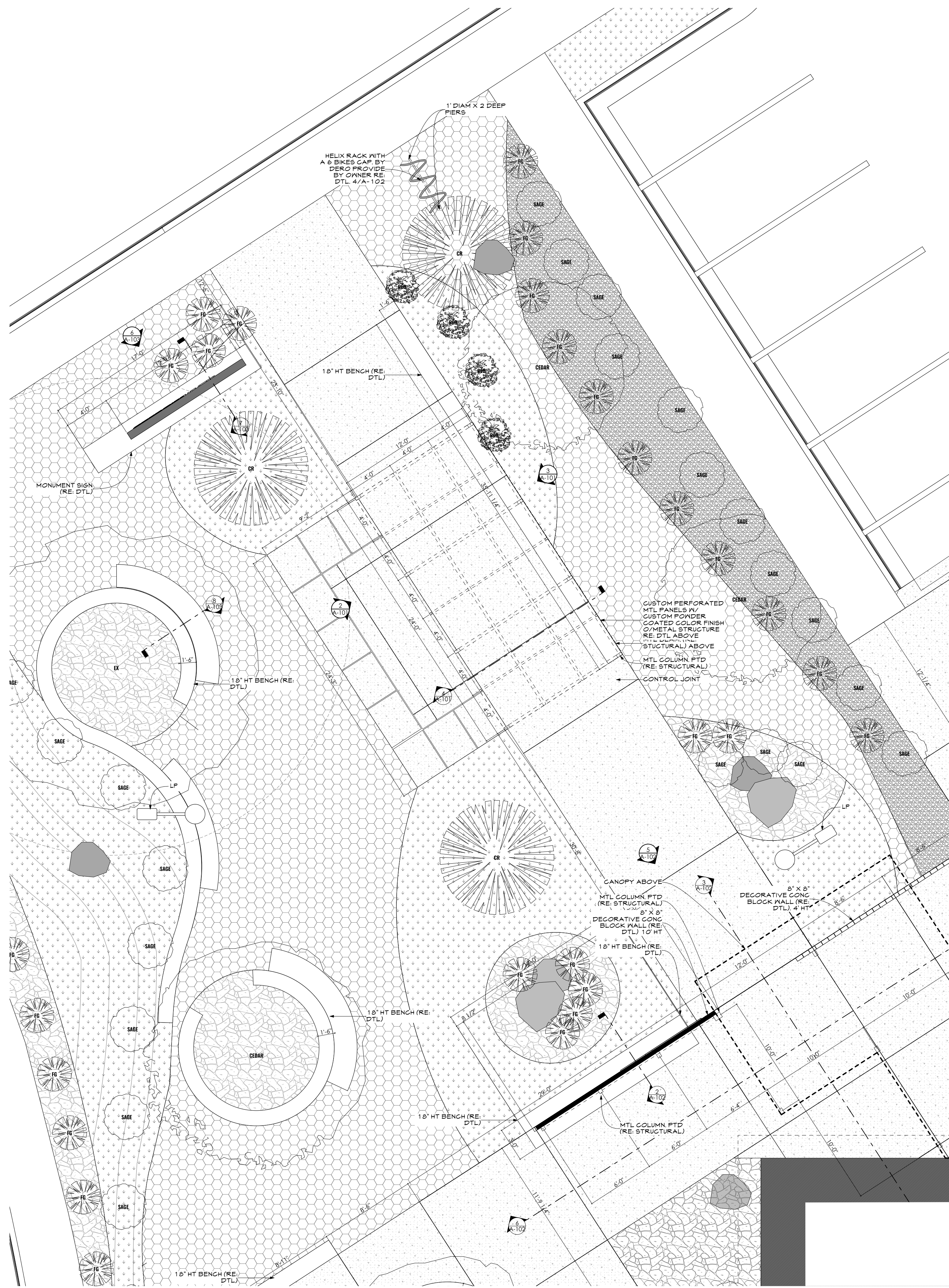
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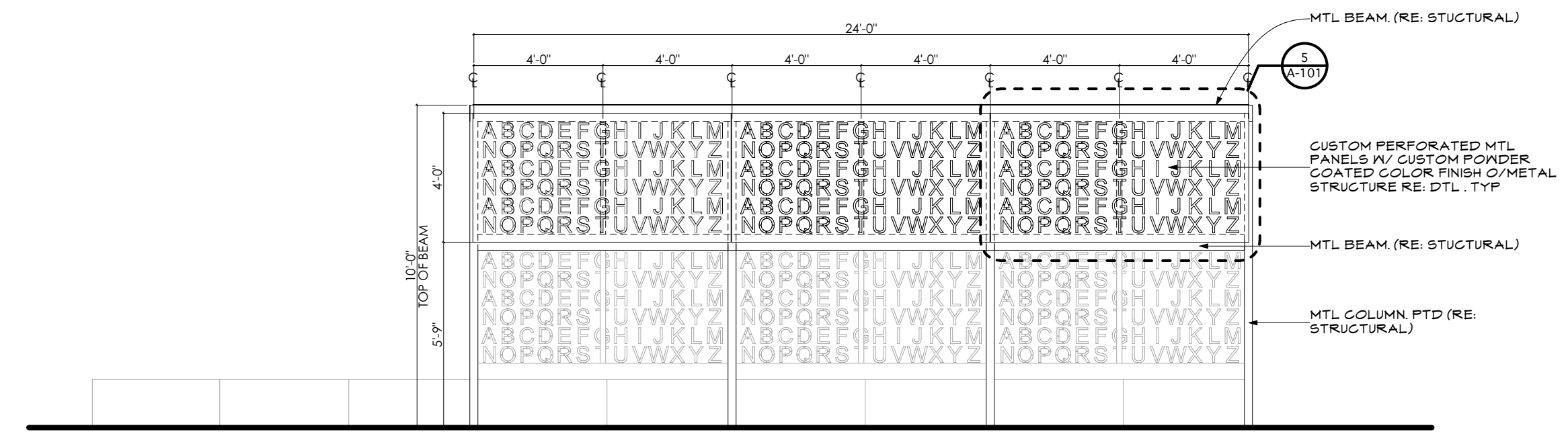
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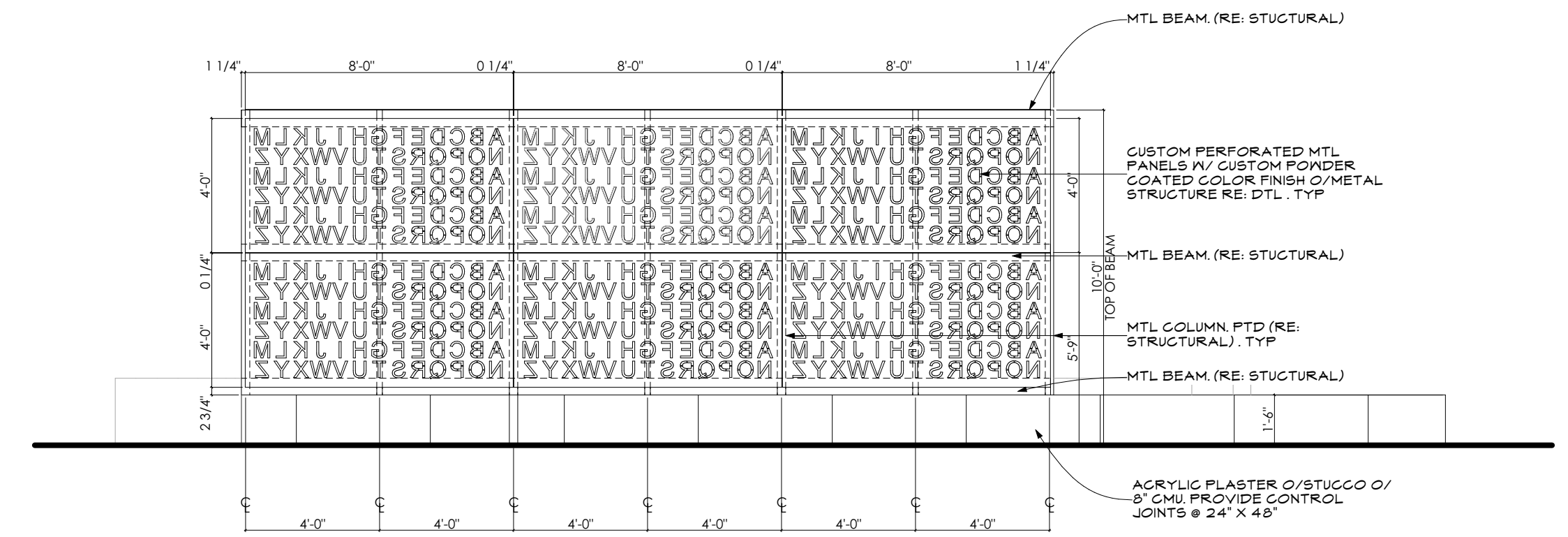




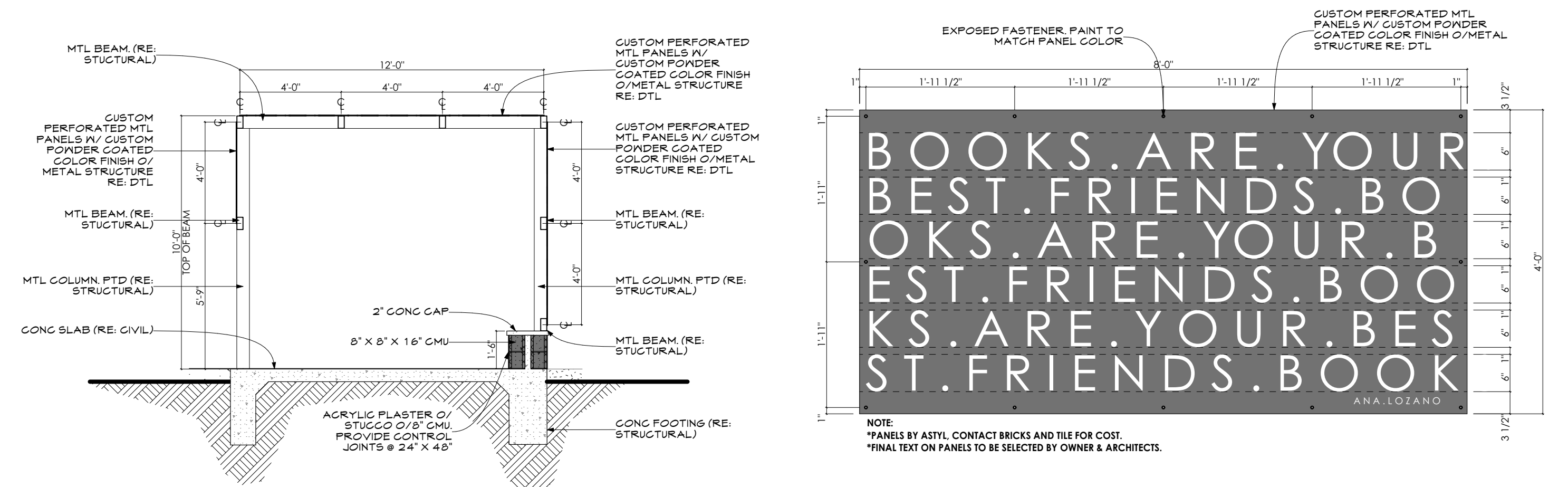
1 SITE PLAN ENLARGEMENT  
SCALE: 3/16" = 1'-0"



2 CANOPY WEST ELEVATION  
SCALE: 1/4" = 1'-0"



3 CANOPY EAST ELEVATION  
SCALE: 1/4" = 1'-0"



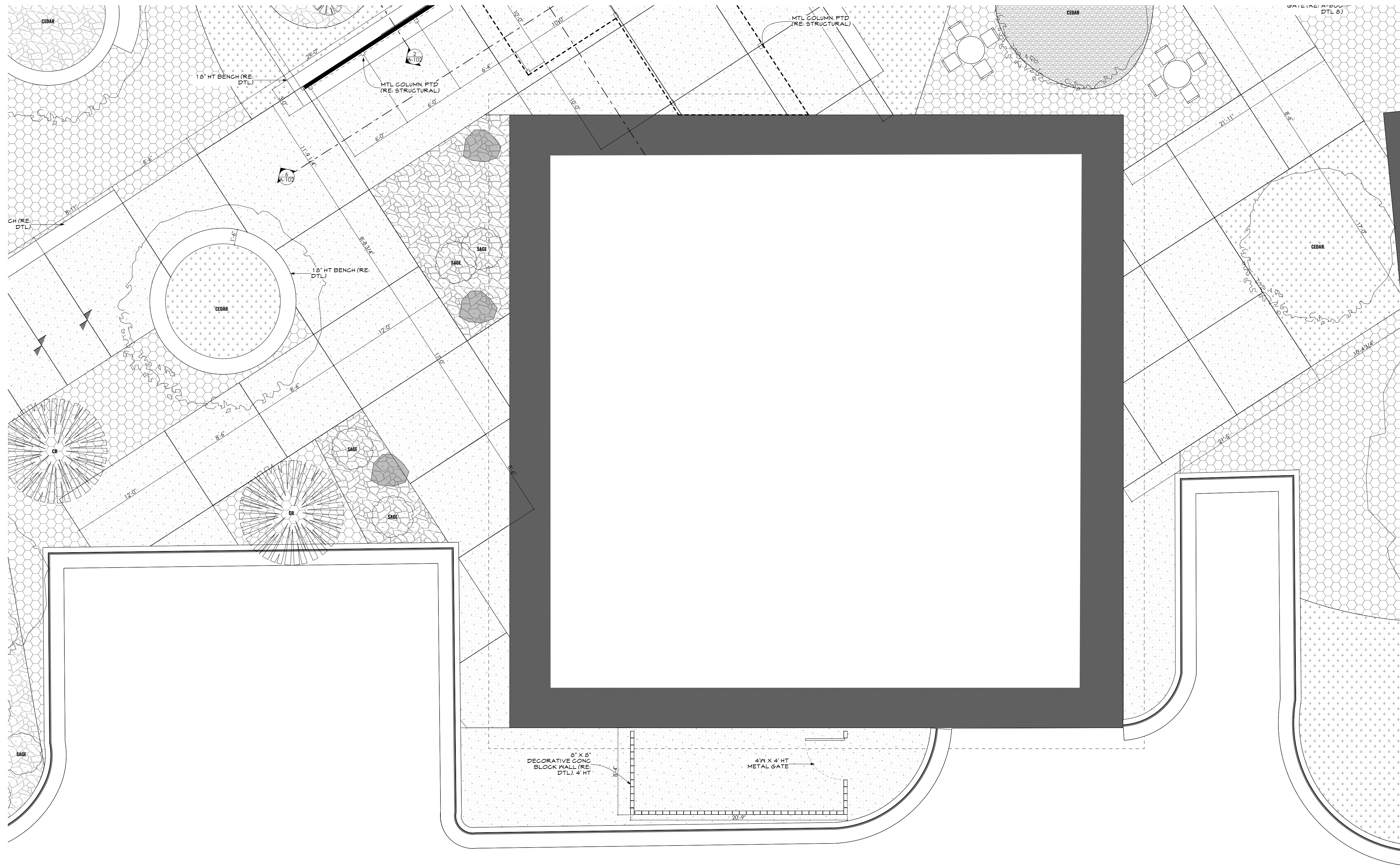
4 CANOPY TYP SECTION  
SCALE: 1/4" = 1'-0"

5 LASER CUT METAL PANEL DTL  
SCALE: 3/4" = 1'-0"

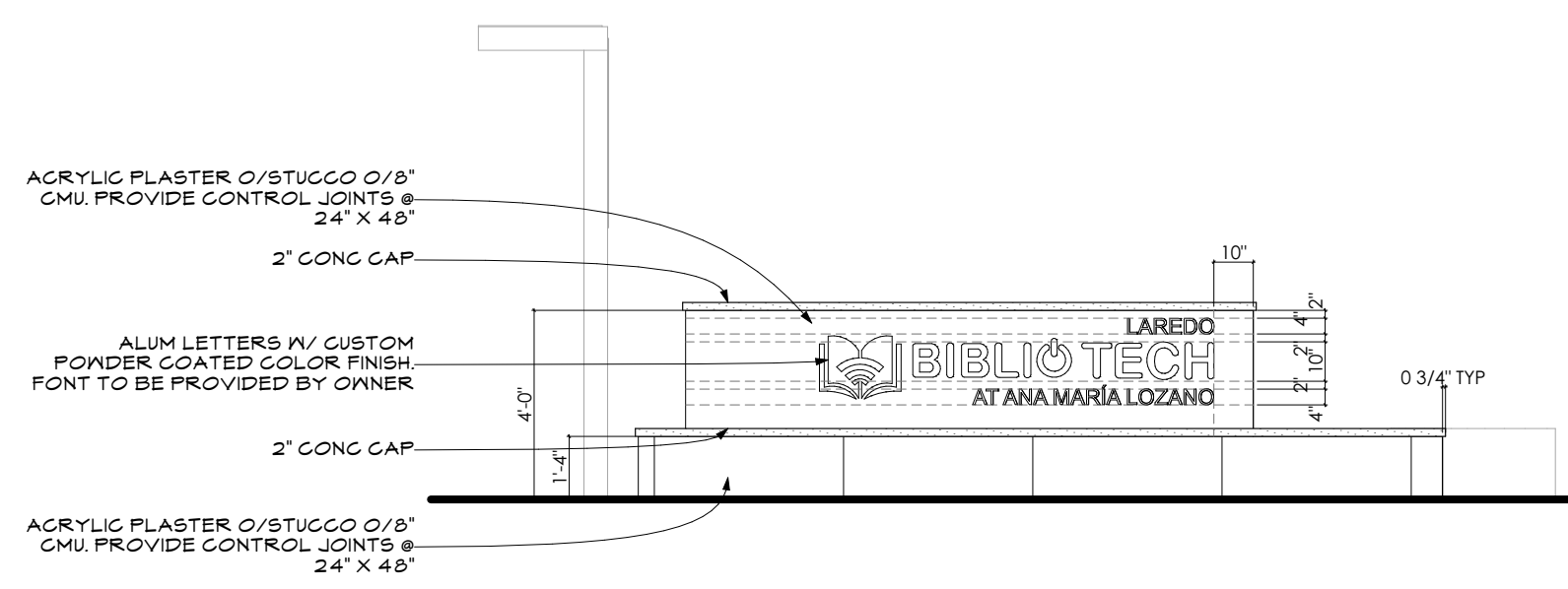




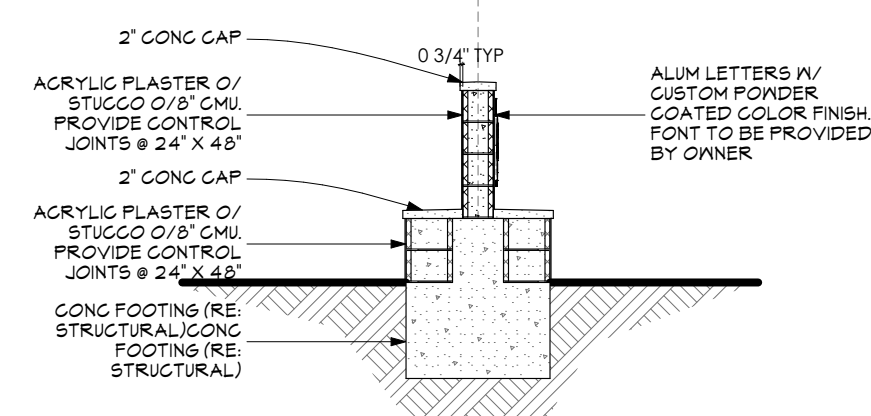




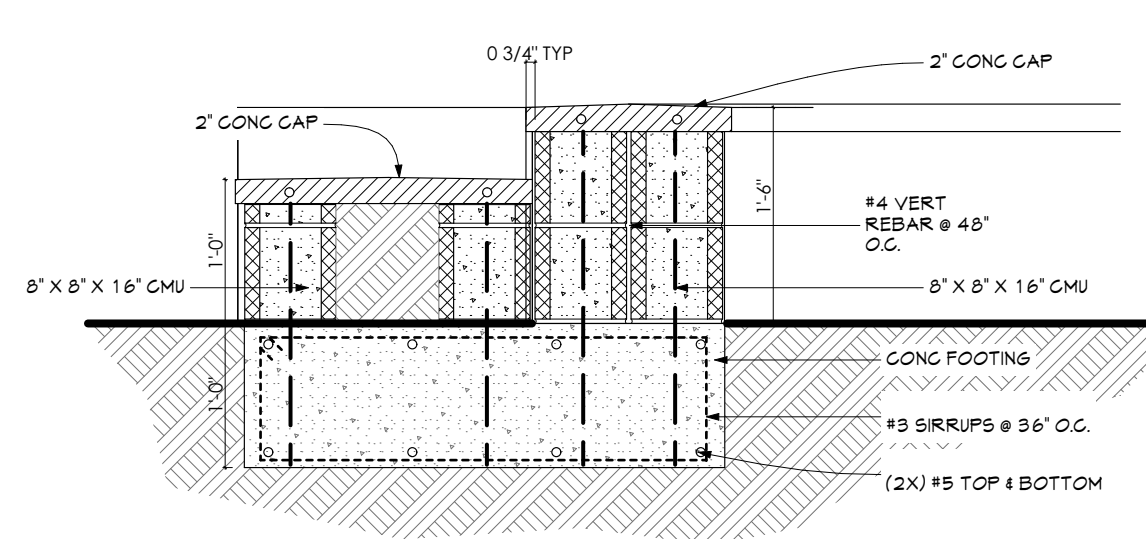
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SCALE: 3/16" = 1'-0"



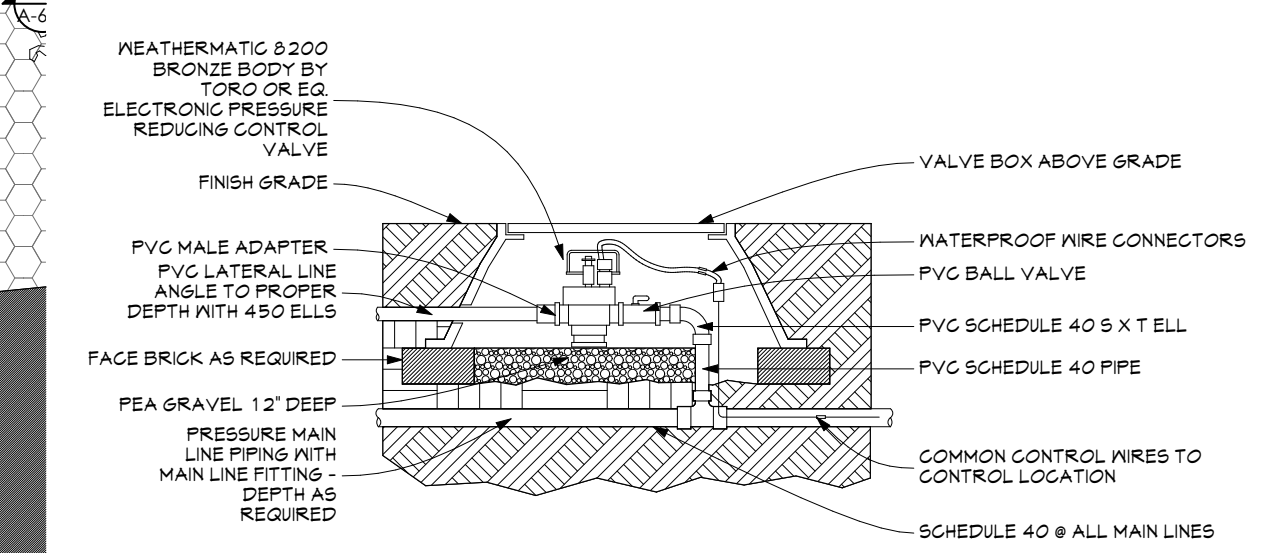
6 MONUMENT SIGN ELEVATION  
SCALE: 1/4" = 1'-0"



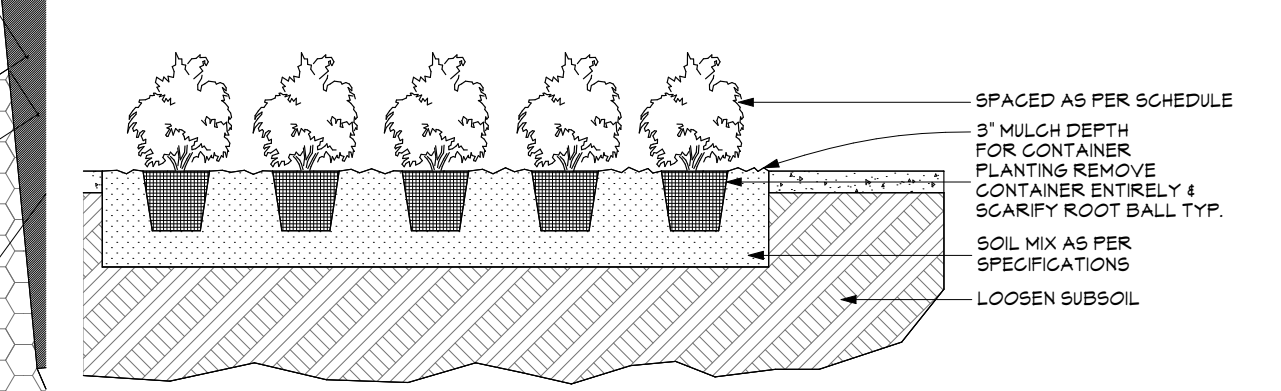
7 MONUMENT SIGN SECTION  
SCALE: 1/4" = 1'-0"



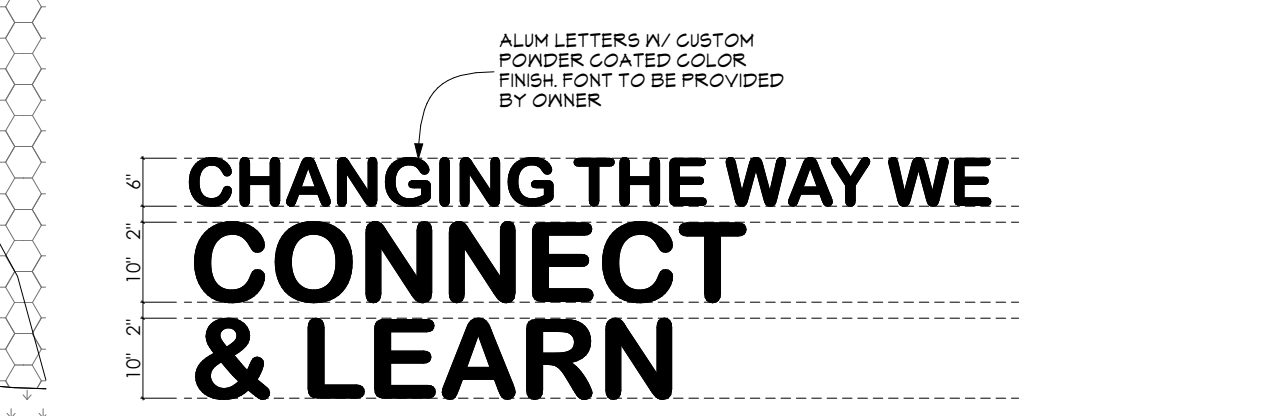
8 TYP BENCH SECTION  
SCALE: 3/4" = 1'-0"



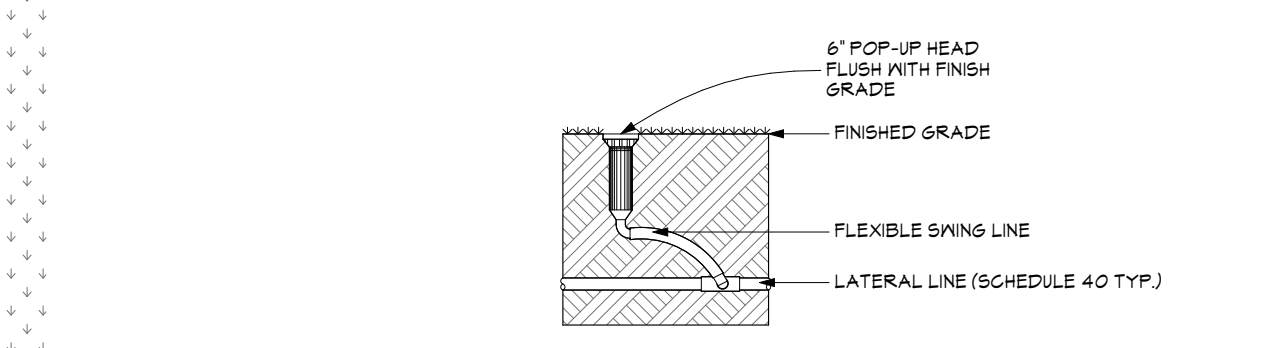
2 TYP. CONTROL VALVE DTL  
SCALE: 3/4" = 1'-0"



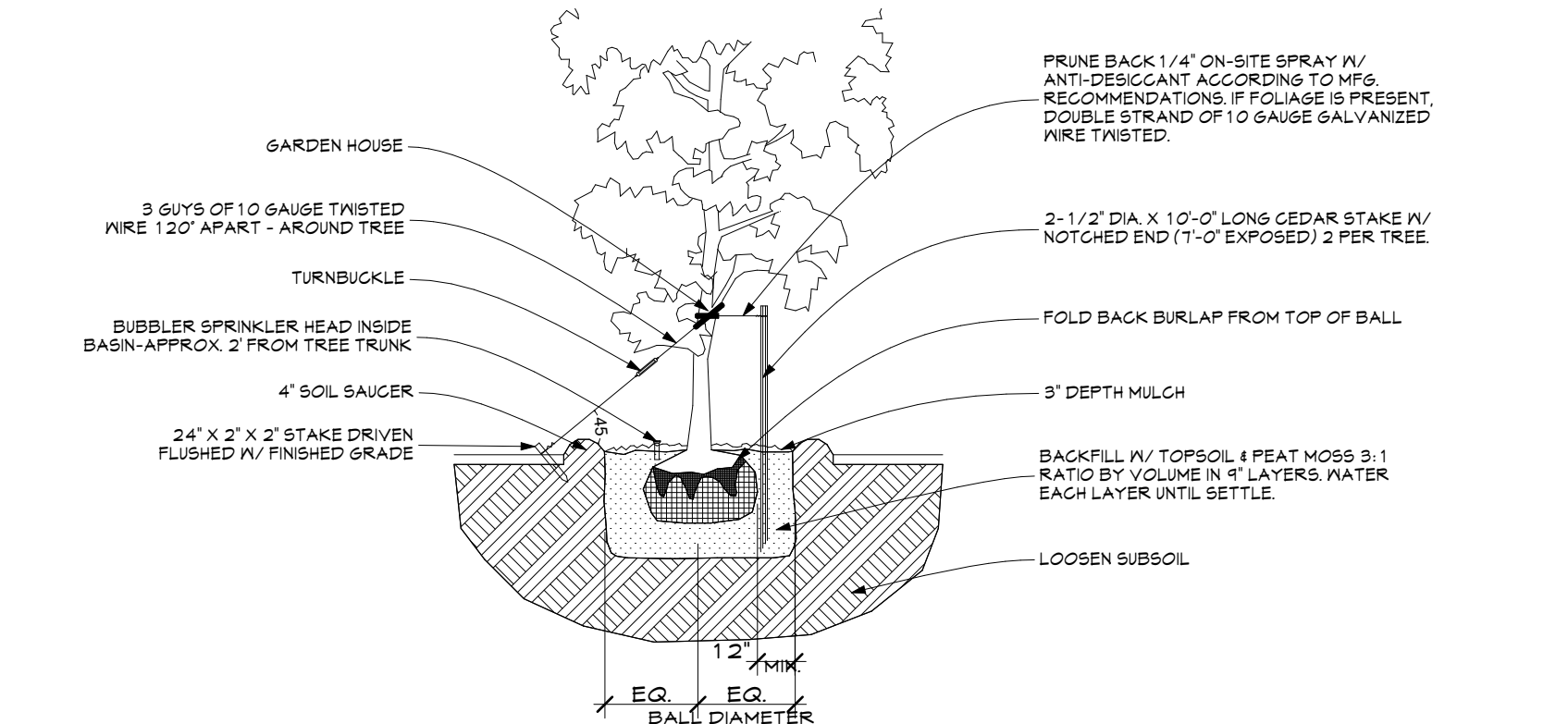
3 TYP. SHRUB PLANTING DTL  
SCALE: 3/4" = 1'-0"



4 ALUM LETTERS DTL  
SCALE: 1/2" = 1'-0"



5 TYP. SPRINKLER HEAD DTL  
SCALE: 3/4" = 1'-0"



9 TYP. TREE PLANTING DTL  
SCALE: 3/4" = 1'-0"